

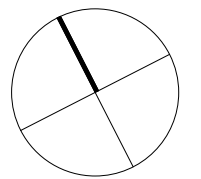
Location Plan NTS



North Location Plan NTS



Aerial View of Subject Site
2-6 Bold & 80-82 Cowper Street, Granville



All work to be carried out in accordance with BCA, AS & Council conditions.

Copyright: The concepts & information contained in these drawings are the copyright of Idrافت Group Pty Ltd. Use or duplication in part or in full without written permission of Idrافت Group Pty Ltd constitutes an infringement of copyright. Do not scale off architectural drawings. These notes must be read in conjunction with colours selection for additional details on appliances, PC items & shower sizes shown on plan are inside hob dimensions shower screens to be fitted on inside of hob bulkheads may be required to accommodate drainage lines & steel beams position to be determined on site. Use figured dimensions ONLY, do not scale. Finished ground levels shown on plans are subject to site conditions, all calculated dimensions are subject to site measure during construction & no allowance has been made for shrinkage or milling position of electrical meter to be determined on site in accordance to the turret position front garden tap on meter.

Energy Smart Design: AAA rated water conservation devices include rainwater tanks shower heads, water tap flow regulators, dual flush toilets & cisterns & compliant hot water systems with minimum green house score of 3.5 stars are to be used in this development. All occupants are encouraged to use AAA rated dish washing machines with front loading where possible.

Notes:

AAC Veneer Insulation R1.5 Bulk
Metal Cladding Insulation R1.5 Bulk
Concrete Roof Insulation R1.0 EPS
Concrete Slab Above Level 1 Insulation
R1.0 EPS

All Bathroom/Kitchen Taps 4 Stars
All Toilet Flushing Systems 4 Stars
All Shower Heads 3 Stars
Gas Instantaneous 5 Star
Heating/Cooling 1 phase 1 Star System
Gas Cooktop & Electric Oven



project:
Demolition &
Construction of a 17
storey mixed use
development
containing 92 units with
2 tenancies over
basement parking

client:
Designer Home
Constructions

Council
City of Parramatta
Council

Drawing title:
Site Plan Analysis

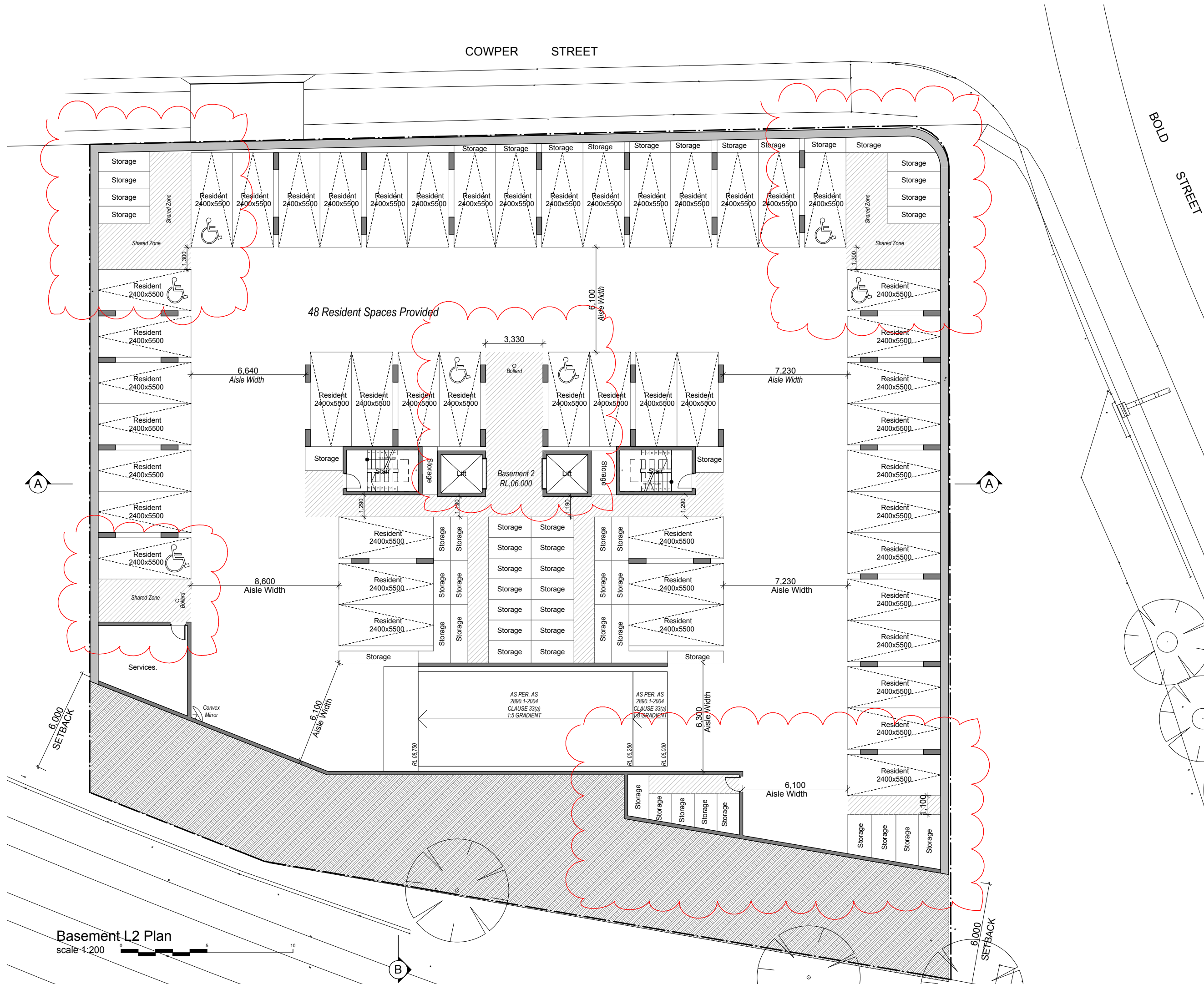
Designed
J.Johannsen/A.Winton
M.Trinh/J.Ellis

Issue/Stage:
Issue C - DA

Paper/Scale:
A3/1:1000

Date: 9/08/2017

Job #:	Dwg #:
28049	08



2 - 6 Bold Street & 80 - 82 Cowper Street, Granville

All work to be carried out in accordance with BCA, AS & Council conditions.

Copyright: The concepts & information contained in these drawings are the copyright of Icraft Group Pty Ltd. Use or duplication in part or in full without written permission of Icraft Group Pty Ltd constitutes an infringement of copyright. Do not scale off architectural drawings. These notes must be read in conjunction with colours selection for additional details on appliances, PC items & shower sizes shown on plan are inside hob dimensions shower screens to be fitted on inside of hob bulkheads may be required to accommodate drainage lines & steel beams position to be determined on site. Use figured dimensions ONLY, do not scale. Finished ground levels shown on plans are subject to site conditions, all calculated dimensions are subject to site measure during construction & no allowance has been made for shrinkage or milling position of electrical meter to be determined on site in accordance to the turret position front garden tap on meter.

Energy Smart Design: AAA rated water conservation devices include rainwater tanks shower heads, water tap flow regulators, dual flush toilets & cisterns & compliant hot water systems with minimum green house score of 3.5 stars are to be used in this development. All occupants are encouraged to use AAA rated dish washing machines with front loading where possible.

Notes:

AAC Veneer Insulation R1.5 Bulk
Metal Cladding Insulation R1.5 Bulk
Concrete Roof Insulation R1.0 EPS
Concrete Slab Above Level 1 Insulation R1.0 EPS

All Bathroom/Kitchen Taps 4 Stars
All Toilet Flushing Systems 4 Stars
All Shower Heads 3 Stars
Gas Instantaneous 5 Star
Heating/Cooling 1 phase 1 Star System
Gas Cooktop & Electric Oven



project:
Demolition &
Construction of a 17
storey mixed use
development
containing 92 units with
2 tenancies over
basement parking

client:
Designer Home
Constructions

Council
City of Parramatta
Council

Drawing title:
**Basement Level 2
Plan**

Designed
J.Johannsen/A.Winton
M.Trinh/J.Ellis

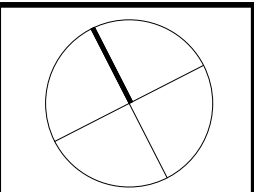
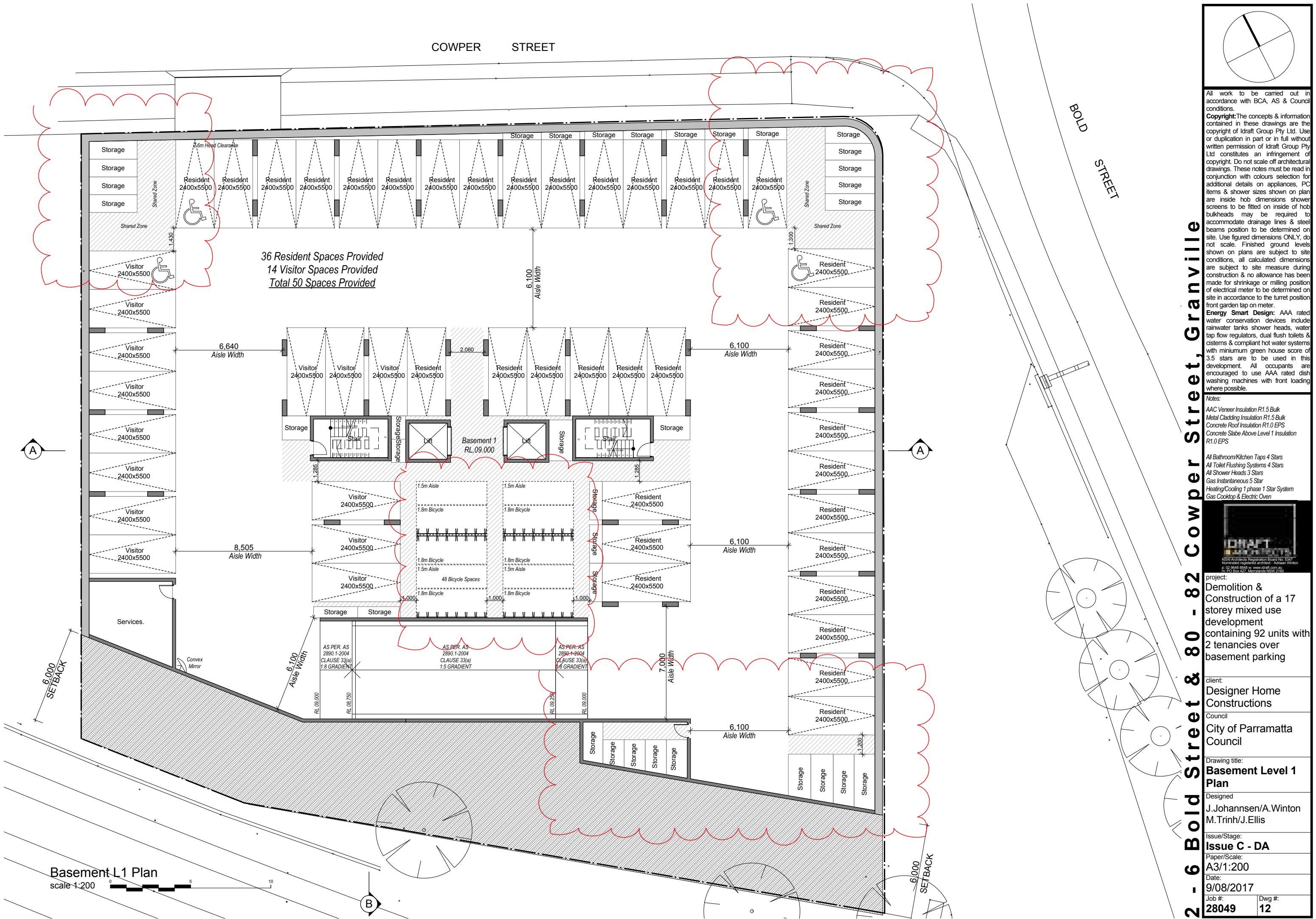
Issue/Stage:
Issue C - DA

Paper/Scale:
A3/1:200

Date:
9/08/2017

Job #:
28049

Dwg #:
11



All work to be carried out in accordance with BCA, AS & Council conditions.

Copyright: The concepts & information contained in these drawings are the copyright of Icraft Group Pty Ltd. Use or duplication in part or in full without written permission of Icraft Group Pty Ltd constitutes an infringement of copyright. Do not scale off architectural drawings. These notes must be read in conjunction with colours selection for additional details on appliances, PC items & shower sizes shown on plan are inside hob dimensions shower screens to be fitted on inside of hob bulkheads may be required to accommodate drainage lines & steel beams position to be determined on site. Use figured dimensions ONLY, do not scale. Finished ground levels shown on plans are subject to site conditions, all calculated dimensions are subject to site measure during construction & no allowance has been made for shrinkage or milling position of electrical meter to be determined on site in accordance to the turret position front garden tap on meter.

Energy Smart Design: AAA rated water conservation devices include rainwater tanks shower heads, water tap flow regulators, dual flush toilets & cisterns & compliant hot water systems with minimum green house score of 3.5 stars are to be used in this development. All occupants are encouraged to use AAA rated dish washing machines with front loading where possible.

Notes:
AAC Veneer Insulation R1.5 Bulk
Metal Cladding Insulation R1.5 Bulk
Concrete Roof Insulation R1.0 EPS
Concrete Slab Above Level 1 Insulation R1.0 EPS

All Bathroom/Kitchen Taps 4 Stars
All Toilet Flushing Systems 4 Stars
All Shower Heads 3 Stars
Gas Instantaneous 5 Star
Heating/Cooling 1 phase 1 Star System
Gas Cooktop & Electric Oven



project:
Demolition & Construction of a 17 storey mixed use development containing 92 units with 2 tenancies over basement parking

client:
Designer Home Constructions

Council
City of Parramatta Council

Drawing title:
Basement Level 1 Plan

Designed
**J.Johannsen/A.Winton
M.Trinh/J.Ellis**

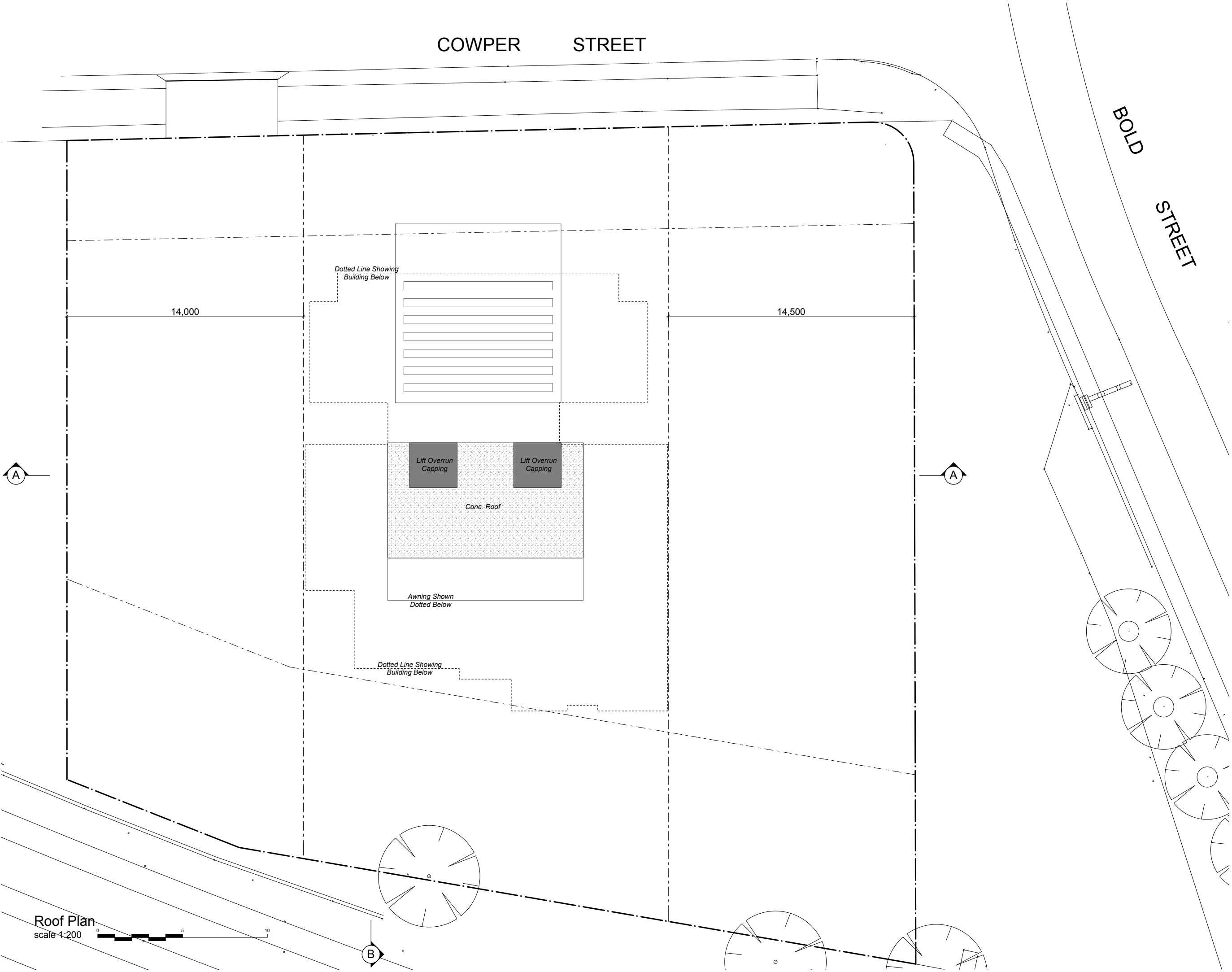
Issue/Stage:
Issue C - DA

Paper/Scale:
A3/1:200

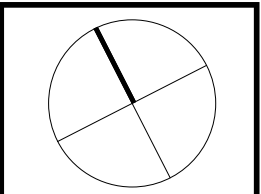
Date:
9/08/2017

Job #:
28049

Dwg #:
12



Roof Plan
scale 1:200



All work to be carried out in accordance with BCA, AS & Council conditions.

Copyright: The concepts & information contained in these drawings are the copyright of Idraft Group Pty Ltd. Use or duplication in part or in full without written permission of Idraft Group Pty Ltd constitutes an infringement of copyright. Do not scale off architectural drawings. These notes must be read in conjunction with colours selection for additional details on appliances, PC items & shower sizes shown on plan are inside hob dimensions shower screens to be fitted on inside of hob bulkheads may be required to accommodate drainage lines & steel beams position to be determined on site. Use figured dimensions ONLY, do not scale. Finished ground levels shown on plans are subject to site conditions, all calculated dimensions are subject to site measure during construction & no allowance has been made for shrinkage or milling position of electrical meter to be determined on site in accordance to the turret position front garden tap on meter.

Energy Smart Design: AAA rated water conservation devices include rainwater tanks shower heads, water tap flow regulators, dual flush toilets & cisterns & compliant hot water systems with minimum green house score of 3.5 stars are to be used in this development. All occupants are encouraged to use AAA rated dish washing machines with front loading where possible.

Notes:

AAC Veneer Insulation R1.5 Bulk
Metal Cladding Insulation R1.5 Bulk
Concrete Roof Insulation R1.0 EPS
Concrete Slab Above Level 1 Insulation R1.0 EPS

All Bathroom/Kitchen Taps 4 Stars
All Toilet Flushing Systems 4 Stars
All Shower Heads 3 Stars
Gas Instantaneous 5 Star
Heating/Cooling 1 phase 1 Star System
Gas Cooktop & Electric Oven



project:
Demolition &
Construction of a 17
storey mixed use
development
containing 92 units with
2 tenancies over
basement parking

client:
Designer Home
Constructions

Council
City of Parramatta
Council

Drawing title:
Roof Plan

Designed
J.Johannsen/A.Winton
M.Trinh/J.Ellis

Issue/Stage:
Issue C - DA

Paper/Scale:
A3/1:200

Date:
9/08/2017

Job #:
28049

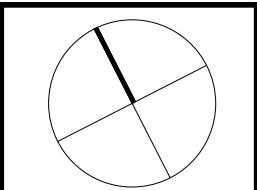
Dwg #:
22

2 - 6 Bold Street & 80 - 82 Cowper Street, Granville



Colour Schedule

01	Feature Cladding - Slate Alucobond
02	Feature Cladding - White Alucobond
03	Dulux Silver City - Powdercoated Orb
04	Dulux Lexicon - Feature Render
05	Powdercoat Finish - Intensity® Desert Satin
05	Powdercoat Finish - Charcoal Pearl Satin
05	Powdercoat Finish - Arctic White Satin



All work to be carried out in accordance with BCA, AS & Council conditions.

Copyright: The concepts & information contained in these drawings are the copyright of Idraft Group Pty Ltd. Use or duplication in part or in full without written permission of Idraft Group Pty Ltd constitutes an infringement of copyright. Do not scale off architectural drawings. These notes must be read in conjunction with colours selection for additional details on appliances, PC items & shower sizes shown on plan are inside hob dimensions shower screens to be fitted on inside of hob bulkheads may be required to accommodate drainage lines & steel beams position to be determined on site. Use figured dimensions ONLY, do not scale. Finished ground levels shown on plans are subject to site conditions, all calculated dimensions are subject to site measure during construction & no allowance has been made for shrinkage or milling position of electrical meter to be determined on site in accordance to the turret position front garden tap on meter.

Energy Smart Design: AAA rated water conservation devices include rainwater tanks shower heads, water tap flow regulators, dual flush toilets & cisterns & compliant hot water systems with minimum green house score of 3.5 stars are to be used in this development. All occupants are encouraged to use AAA rated dish washing machines with front loading where possible.

Notes:

AAC Veneer Insulation R1.5 Bulk
Metal Cladding Insulation R1.5 Bulk
Concrete Roof Insulation R1.0 EPS
Concrete Slab Above Level 1 Insulation R1.0 EPS

All Bathroom/Kitchen Taps 4 Stars
All Toilet Flushing Systems 4 Stars
All Shower Heads 3 Stars
Gas Instantaneous 5 Star
Heating/Cooling 1 phase 1 Star System
Gas Cooktop & Electric Oven



project:
Demolition & Construction of a 17 storey mixed use development containing 92 units with 2 tenancies over basement parking

client:
Designer Home Constructions

Council
City of Parramatta Council

Drawing title:
North Elevation

Designed
J.Johannsen/A.Winton
M.Trinh/J.Ellis

Issue/Stage:
Issue C - DA

Paper/Scale:
A3/1:200

Date:
9/08/2017

Job #:
28049

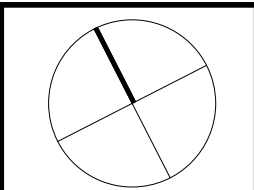
Dwg #:
23

2 - 6 Bold Street & 80 - 82 Cowper Street, Granville



Colour Schedule

01	Feature Cladding - Slate Alucobond
02	Feature Cladding - White Alucobond
03	Dulux Silver City - Powdercoated Orb
04	Dulux Lexicon - Feature Render
05	Powdercoat Finish - Intensity® Desert Satin
05	Powdercoat Finish - Charcoal Pearl Satin
05	Powdercoat Finish - Arctic White Satin



All work to be carried out in accordance with BCA, AS & Council conditions.

Copyright: The concepts & information contained in these drawings are the copyright of Idraft Group Pty Ltd. Use or duplication in part or in full without written permission of Idraft Group Pty Ltd constitutes an infringement of copyright. Do not scale off architectural drawings. These notes must be read in conjunction with colours selection for additional details on appliances, PC items & shower sizes shown on plan are inside hob dimensions shower screens to be fitted on inside of hob bulkheads may be required to accommodate drainage lines & steel beams position to be determined on site. Use figured dimensions ONLY, do not scale. Finished ground levels shown on plans are subject to site conditions, all calculated dimensions are subject to site measure during construction & no allowance has been made for shrinkage or milling position of electrical meter to be determined on site in accordance to the turret position front garden tap on meter.

Energy Smart Design: AAA rated water conservation devices include rainwater tanks shower heads, water tap flow regulators, dual flush toilets & cisterns & compliant hot water systems with minimum green house score of 3.5 stars are to be used in this development. All occupants are encouraged to use AAA rated dish washing machines with front loading where possible.

Notes:

AAC Veneer Insulation R1.5 Bulk
Metal Cladding Insulation R1.5 Bulk
Concrete Roof Insulation R1.0 EPS
Concrete Slab Above Level 1 Insulation R1.0 EPS

All Bathroom/Kitchen Taps 4 Stars
All Toilet Flushing Systems 4 Stars
All Shower Heads 3 Stars
Gas Instantaneous 5 Star
Heating/Cooling 1 phase 1 Star System
Gas Cooktop & Electric Oven



project:
Demolition & Construction of a 17 storey mixed use development containing 92 units with 2 tenancies over basement parking

client:
Designer Home Constructions

Council
City of Parramatta Council

Drawing title:
South Elevation

Designed
J.Johannsen/A.Winton
M.Trinh/J.Ellis

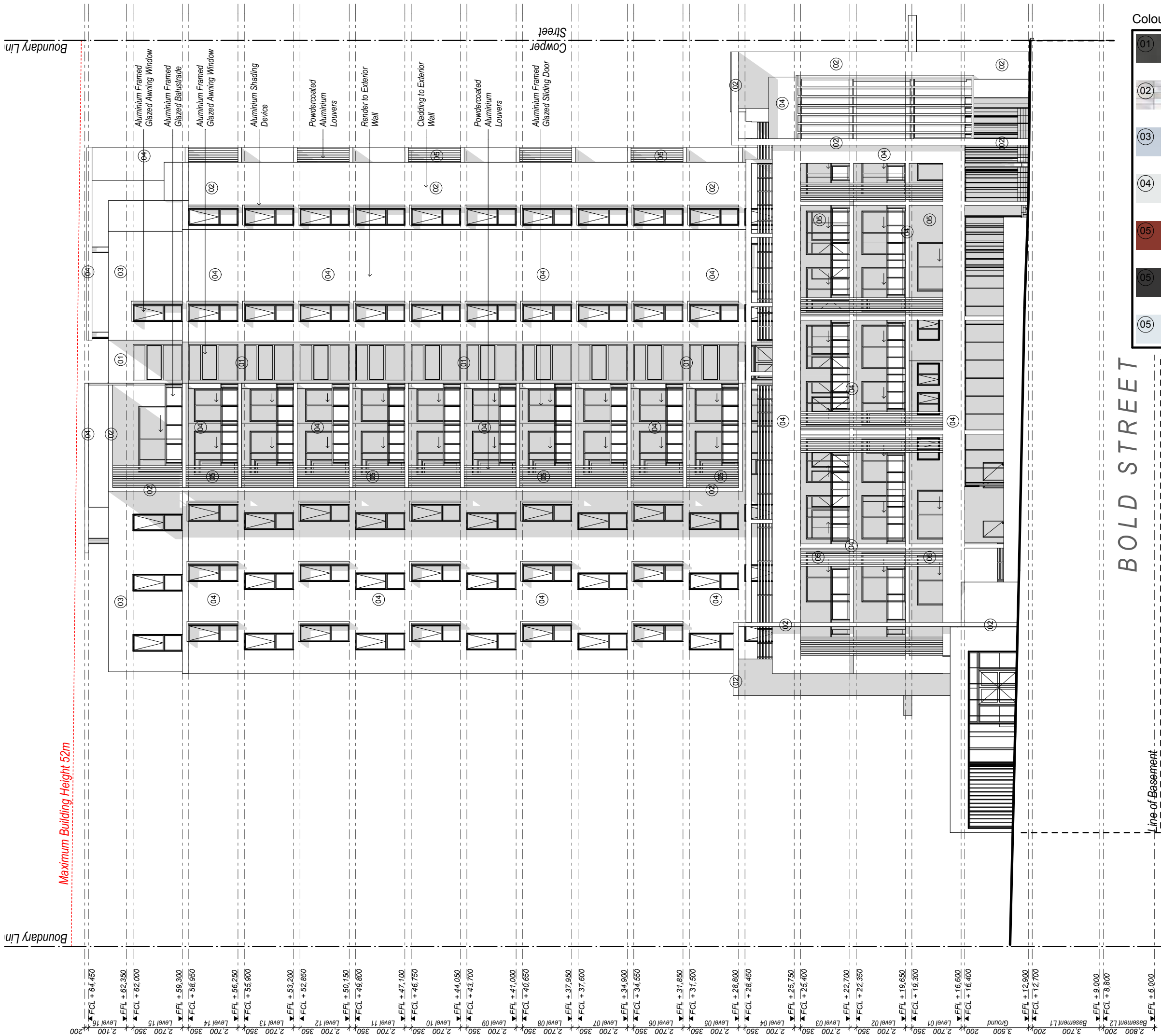
Issue/Stage:
Issue C - DA

Paper/Scale:
A3/1:200

Date:
9/08/2017

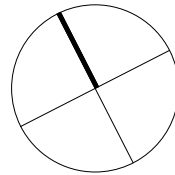
Job #:
28049

Dwg #:
24



Colour Schedule

01	Feature Cladding - Slate Alucobond
02	Feature Cladding - White Alucobond
03	Dulux Silver City - Powdercoated Orb
04	Dulux Lexicon - Feature Render
05	Powdercoat Finish - Intensity® Desert Satin
05	Powdercoat Finish - Charcoal Pearl Satin
05	Powdercoat Finish - Arctic White Satin



All work to be carried out in accordance with BCA, AS & Council conditions.

Copyright: The concepts & information contained in these drawings are the copyright of Idraft Group Pty Ltd. Use or duplication in part or in full without written permission of Idraft Group Pty Ltd constitutes an infringement of copyright. Do not scale off architectural drawings. These notes must be read in conjunction with colours selection for additional details on appliances, PC items & shower sizes shown on plan are inside hob dimensions shower screens to be fitted on inside of hob bulkheads may be required to accommodate drainage lines & steel beams position to be determined on site. Use figured dimensions ONLY, do not scale. Finished ground levels shown on plans are subject to site conditions, all calculated dimensions are subject to site measure during construction & no allowance has been made for shrinkage or milling position of electrical meter to be determined on site in accordance to the turret position front garden tap on meter.

Energy Smart Design: AAA rated water conservation devices include rainwater tanks shower heads, water tap flow regulators, dual flush toilets & cisterns & compliant hot water systems with minimum green house score of 3.5 stars are to be used in this development. All occupants are encouraged to use AAA rated dish washing machines with front loading where possible.

Notes:

AAC Veneer Insulation R1.5 Bulk
Metal Cladding Insulation R1.5 Bulk
Concrete Roof Insulation R1.0 EPS
Concrete Slab Above Level 1 Insulation R1.0 EPS

All Bathroom/Kitchen Taps 4 Stars
All Toilet Flushing Systems 4 Stars
All Shower Heads 3 Stars
Gas Instantaneous 5 Star
Heating/Cooling 1 phase 1 Star System
Gas Cooktop & Electric Oven



project:
Demolition & Construction of a 17 storey mixed use development containing 92 units with 2 tenancies over basement parking

client:
Designer Home Constructions

Council
City of Parramatta Council

Drawing title:
East Elevation

Designed
**J.Johannsen/A.Winton
M.Trinh/J.Ellis**

Issue/Stage:
Issue C - DA

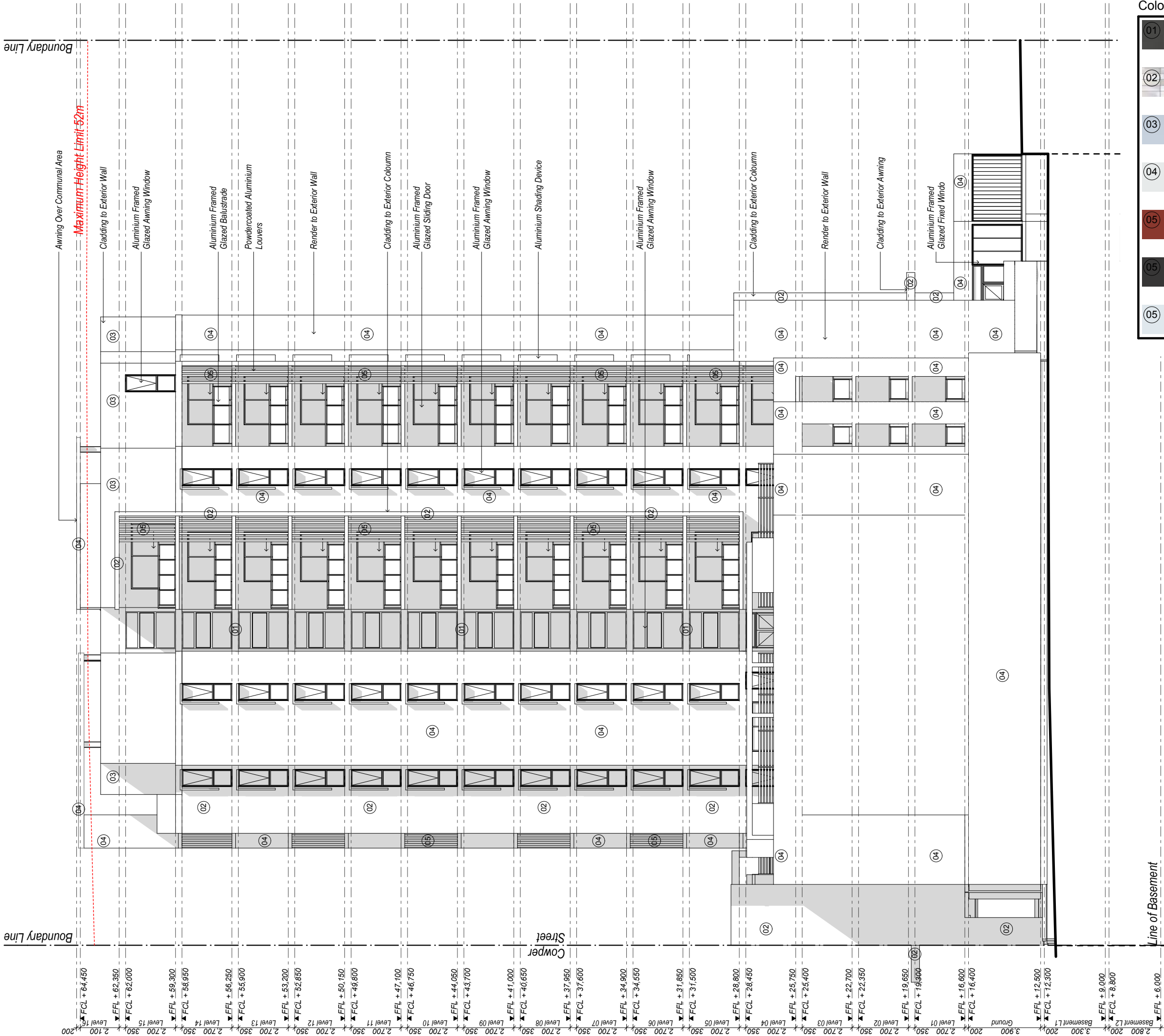
Paper/Scale:
A3/1:200

Date:
9/08/2017

Job #:
28049

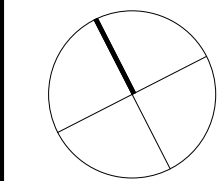
Dwg #:
25

2 - 6 Bold Street & 80 - 82 Cowper Street, Granville



Colour Schedule

01	Feature Cladding - Slate Alucobond
02	Feature Cladding - White Alucobond
03	Dulux Silver City - Powdercoated Orb
04	Dulux Lexicon - Feature Render
05	Powdercoat Finish - Intensity® Desert Satin
05	Powdercoat Finish - Charcoal Pearl Satin
05	Powdercoat Finish - Arctic White Satin



All work to be carried out in accordance with BCA, AS & Council conditions.

Copyright: The concepts & information contained in these drawings are the copyright of Idraft Group Pty Ltd. Use or duplication in part or in full without written permission of Idraft Group Pty Ltd constitutes an infringement of copyright. Do not scale off architectural drawings. These notes must be read in conjunction with colours selection for additional details on appliances, PC items & shower sizes shown on plan are inside hob dimensions shower screens to be fitted on inside of hob bulkheads may be required to accommodate drainage lines & steel beams position to be determined on site. Use figured dimensions ONLY, do not scale. Finished ground levels shown on plans are subject to site conditions, all calculated dimensions are subject to site measure during construction & no allowance has been made for shrinkage or milling position of electrical meter to be determined on site in accordance to the turret position front garden tap on meter.

Energy Smart Design: AAA rated water conservation devices include rainwater tanks shower heads, water tap flow regulators, dual flush toilets & cisterns & compliant hot water systems with minimum green house score of 3.5 stars are to be used in this development. All occupants are encouraged to use AAA rated dish washing machines with front loading where possible.

Notes:

AAC Veneer Insulation R1.5 Bulk
Metal Cladding Insulation R1.5 Bulk
Concrete Roof Insulation R1.0 EPS
Concrete Slab Above Level 1 Insulation R1.0 EPS

All Bathroom/Kitchen Taps 4 Stars
All Toilet Flushing Systems 4 Stars
All Shower Heads 3 Stars
Gas Instantaneous 5 Star
Heating/Cooling 1 phase 1 Star System
Gas Cooktop & Electric Oven



project:

Demolition & Construction of a 17 storey mixed use development containing 92 units with 2 tenancies over basement parking

client:

Designer Home Constructions

Council

City of Parramatta Council

Drawing title:

West Elevation

Designed

J.Johannsen/A.Winton
M.Trinh/J.Ellis

Issue/Stage:

Issue C - DA

Paper/Scale:

A3/1:200

Date:

9/08/2017

Job #:

28049

Dwg #:

26

2 - 6 Bold Street & 80 - 82 Cowper Street, Granville

Boundary Line

Boundary Line

Conc. Roof
Insulation R1.0 EPS

52m Maximum Height Clearance

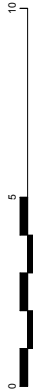
Sealed Cladding
to Top Floor Only
Insulation R1.5

Section
scale 1:200

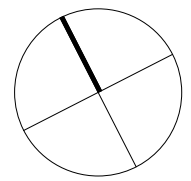
Concrete Slab
Insulation R1.0 EPS

Concrete to Eng.
Details

Natural Ground Line
Maximum Height Line

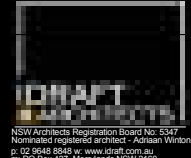


Level 16
FCL ± 64.450
FFL ± 62.350
FCL ± 62.000
Level 15
FCL ± 59.300
FCL ± 58.950
Level 14
FFL ± 56.250
FCL ± 55.900
Level 13
FFL ± 53.200
FCL ± 52.850
Level 12
FFL ± 50.150
FCL ± 49.800
Level 11
FFL ± 47.100
FCL ± 46.750
Level 10
FFL ± 44.050
FCL ± 43.700
Level 09
FFL ± 41.000
FCL ± 40.650
Level 08
FFL ± 37.950
FCL ± 37.600
Level 07
FFL ± 34.900
FCL ± 34.550
Level 06
FFL ± 31.850
FCL ± 31.500
Level 05
FFL ± 28.800
FCL ± 28.450
Level 04
FFL ± 25.750
FCL ± 25.400
Level 03
FFL ± 22.700
FCL ± 22.350
Level 02
FFL ± 19.650
FCL ± 19.300
Level 01
FFL ± 16.600
FCL ± 16.400
Ground
FFL ± 12.500
FCL ± 12.150
Basement L1
FFL ± 9.000
FCL ± 8.800
Basement L2
FFL ± 6.000



All work to be carried out in accordance with BCA, AS & Council conditions.
Copyright: The concepts & information contained in these drawings are the copyright of Idraft Group Pty Ltd. Use or duplication in part or in full without written permission of Idraft Group Pty Ltd constitutes an infringement of copyright. Do not scale off architectural drawings. These notes must be read in conjunction with colours selection for additional details on appliances, PC items & shower sizes shown on plan are inside hob dimensions shower screens to be fitted on inside of hob bulkheads may be required to accommodate drainage lines & steel beams position to be determined on site. Use figured dimensions ONLY, do not scale. Finished ground levels shown on plans are subject to site conditions, all calculated dimensions are subject to site measure during construction & no allowance has been made for shrinkage or milling position of electrical meter to be determined on site in accordance to the turret position front garden tap on meter.
Energy Smart Design: AAA rated water conservation devices include rainwater tanks shower heads, water tap flow regulators, dual flush toilets & cisterns & compliant hot water systems with minimum green house score of 3.5 stars are to be used in this development. All occupants are encouraged to use AAA rated dish washing machines with front loading where possible.

- Notes:
- AAC Veneer Insulation R1.5 Bulk
 - Metal Cladding Insulation R1.5 Bulk
 - Concrete Roof Insulation R1.0 EPS
 - Concrete Slab Above Level 1 Insulation R1.0 EPS
 - All Bathroom/Kitchen Taps 4 Stars
 - All Toilet Flushing Systems 4 Stars
 - All Shower Heads 3 Stars
 - Gas Instantaneous 5 Star
 - Heating/Cooling 1 phase 1 Star System
 - Gas Cooktop & Electric Oven



project:
Demolition & Construction of a 17 storey mixed use development containing 92 units with 2 tenancies over basement parking

client:
Designer Home Constructions

Council
City of Parramatta Council

Drawing title:
Section A-A

Designed
**J.Johannsen/A.Winton
M.Trinh/J.Ellis**

Issue/Stage:
Issue C - DA

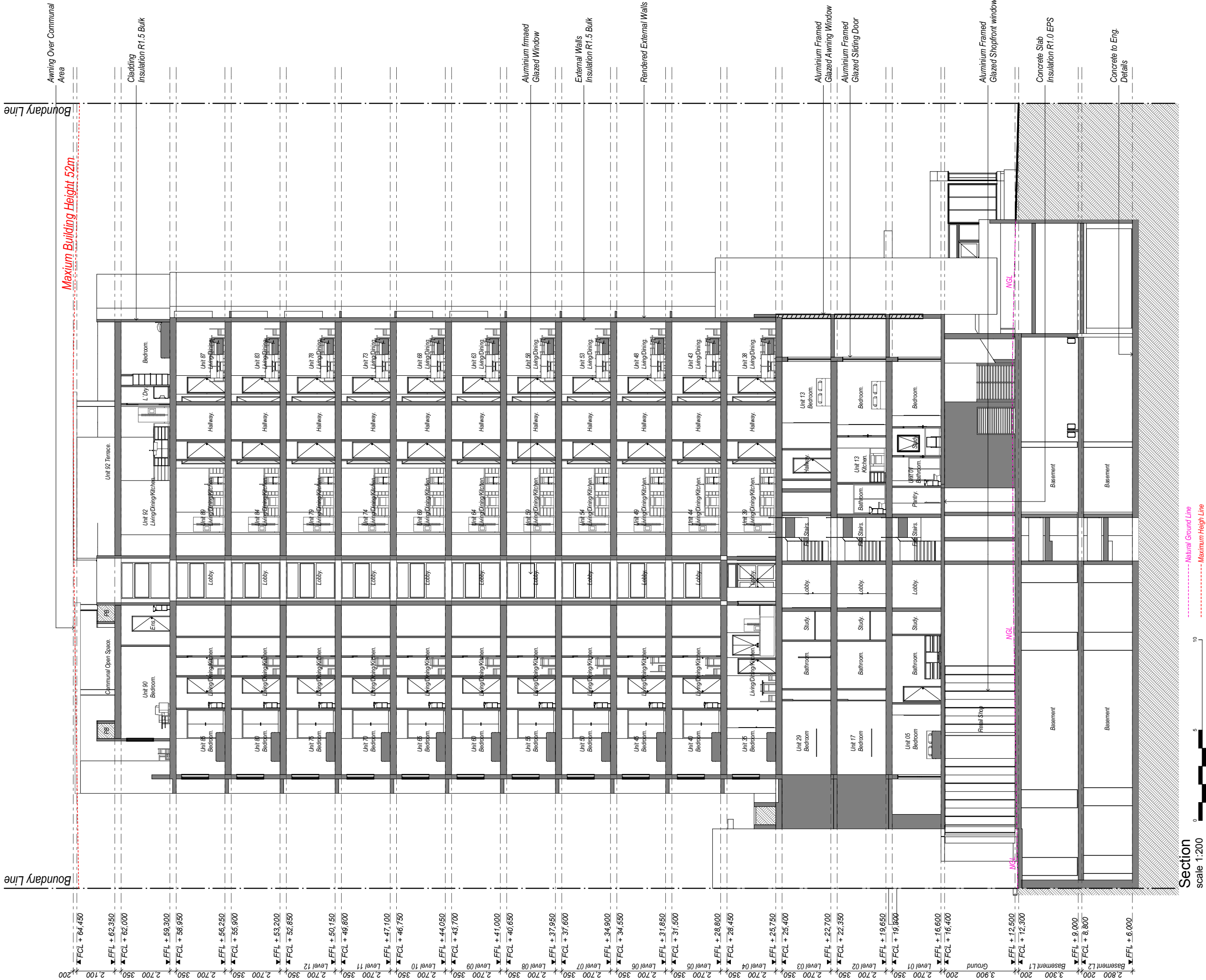
Paper/Scale:
A3/1:200

Date:
9/08/2017

Job #:
28049

Dwg #:
27

2 - 6 Bold Street & 80 - 82 Cowper Street, Granville



2 - 6 Bold Street & 80 - 82 Cowper Street, Granville

All work to be carried out in accordance with BCA, AS & Council conditions.

Copyright: The concepts & information contained in these drawings are the copyright of Idraft Group Pty Ltd. Use or duplication in part or in full without written permission of Idraft Group Pty Ltd constitutes an infringement of copyright. Do not scale off architectural drawings. These notes must be read in conjunction with colours selection for additional details on appliances, PC items & shower sizes shown on plan are inside hob dimensions shower screens to be fitted on inside of hob bulkheads may be required to accommodate drainage lines & steel beams position to be determined on site. Use figured dimensions ONLY, do not scale. Finished ground levels shown on plans are subject to site conditions, all calculated dimensions are subject to site measure during construction & no allowance has been made for shrinkage or milling position of electrical meter to be determined on site in accordance to the turret position front garden tap on meter.

Energy Smart Design: AAA rated water conservation devices include rainwater tanks shower heads, water tap flow regulators, dual flush toilets & cisterns & compliant hot water systems with minimum green house score of 3.5 stars are to be used in this development. All occupants are encouraged to use AAA rated dish washing machines with front loading where possible.

- Notes:
- AAC Veneer Insulation R1.5 Bulk
 - Metal Cladding Insulation R1.5 Bulk
 - Concrete Roof Insulation R1.0 EPS
 - Concrete Slab Above Level 1 Insulation R1.0 EPS
 - All Bathroom/Kitchen Taps 4 Stars
 - All Toilet Flushing Systems 4 Stars
 - All Shower Heads 3 Stars
 - Gas Instantaneous 5 Star
 - Heating/Cooling 1 phase 1 Star System
 - Gas Cooktop & Electric Oven



project:
Demolition &
Construction of a 17
storey mixed use
development
containing 92 units with
2 tenancies over
basement parking

client:
Designer Home
Constructions

Council
City of Parramatta
Council

Drawing title:
Section B-B

Designed
J.Johannsen/A.Winton
M.Trinh/J.Ellis

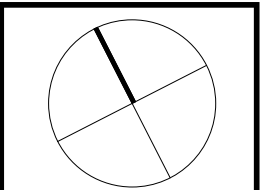
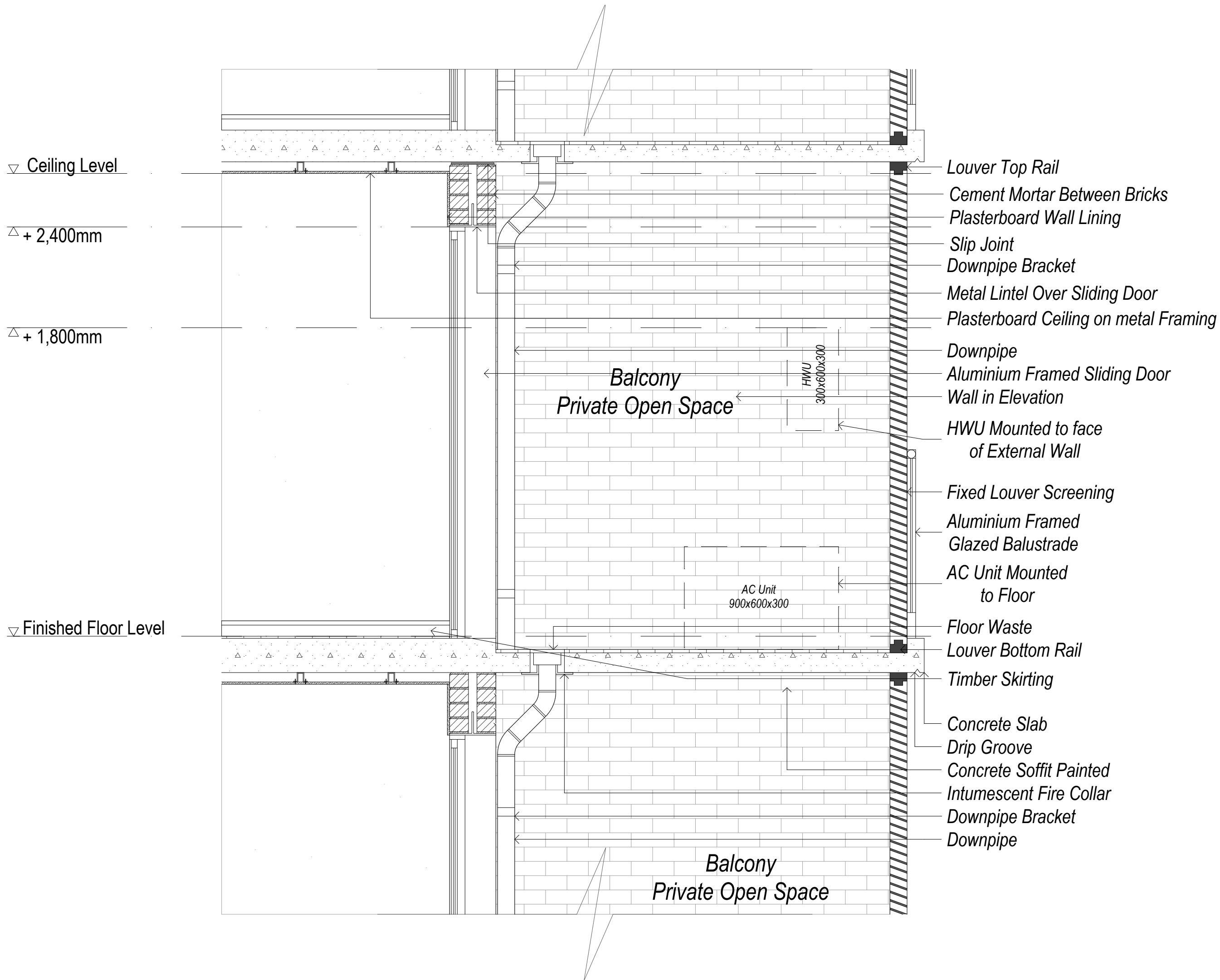
Issue/Stage:
Issue C - DA

Paper/Scale:
A3/1:200

Date:
9/08/2017

Job #:
28049

Dwg #:
28



All work to be carried out in accordance with BCA, AS & Council conditions.

Copyright: The concepts & information contained in these drawings are the copyright of Idraft Group Pty Ltd. Use or duplication in part or in full without written permission of Idraft Group Pty Ltd constitutes an infringement of copyright. Do not scale off architectural drawings. These notes must be read in conjunction with colours selection for additional details on appliances, PC items & shower sizes shown on plan are inside hob dimensions shower screens to be fitted on inside of hob bulkheads may be required to accommodate drainage lines & steel beams position to be determined on site. Use figured dimensions ONLY, do not scale. Finished ground levels shown on plans are subject to site conditions, all calculated dimensions are subject to site measure during construction & no allowance has been made for shrinkage or milling position of electrical meter to be determined on site in accordance to the turret position front garden tap on meter.

Energy Smart Design: AAA rated water conservation devices include rainwater tanks shower heads, water tap flow regulators, dual flush toilets & cisterns & compliant hot water systems with minimum green house score of 3.5 stars are to be used in this development. All occupants are encouraged to use AAA rated dish washing machines with front loading where possible.

Notes:
AAC Veneer Insulation R1.5 Bulk
Metal Cladding Insulation R1.5 Bulk
Concrete Roof Insulation R1.0 EPS
Concrete Slab Above Level 1 Insulation R1.0 EPS

All Bathroom/Kitchen Taps 4 Stars
All Toilet Flushing Systems 4 Stars
All Shower Heads 3 Stars
Gas Instantaneous 5 Star
Heating/Cooling 1 phase 1 Star System
Gas Cooktop & Electric Oven



project:
Demolition & Construction of a 17 storey mixed use development containing 92 units with 2 tenancies over basement parking

client:
Designer Home Constructions

Council
City of Parramatta Council

Drawing title:
Typical Balcony Section

Designed
J.Johannsen/A.Winton
M.Trinh/J.Ellis

Issue/Stage:
Issue C - DA

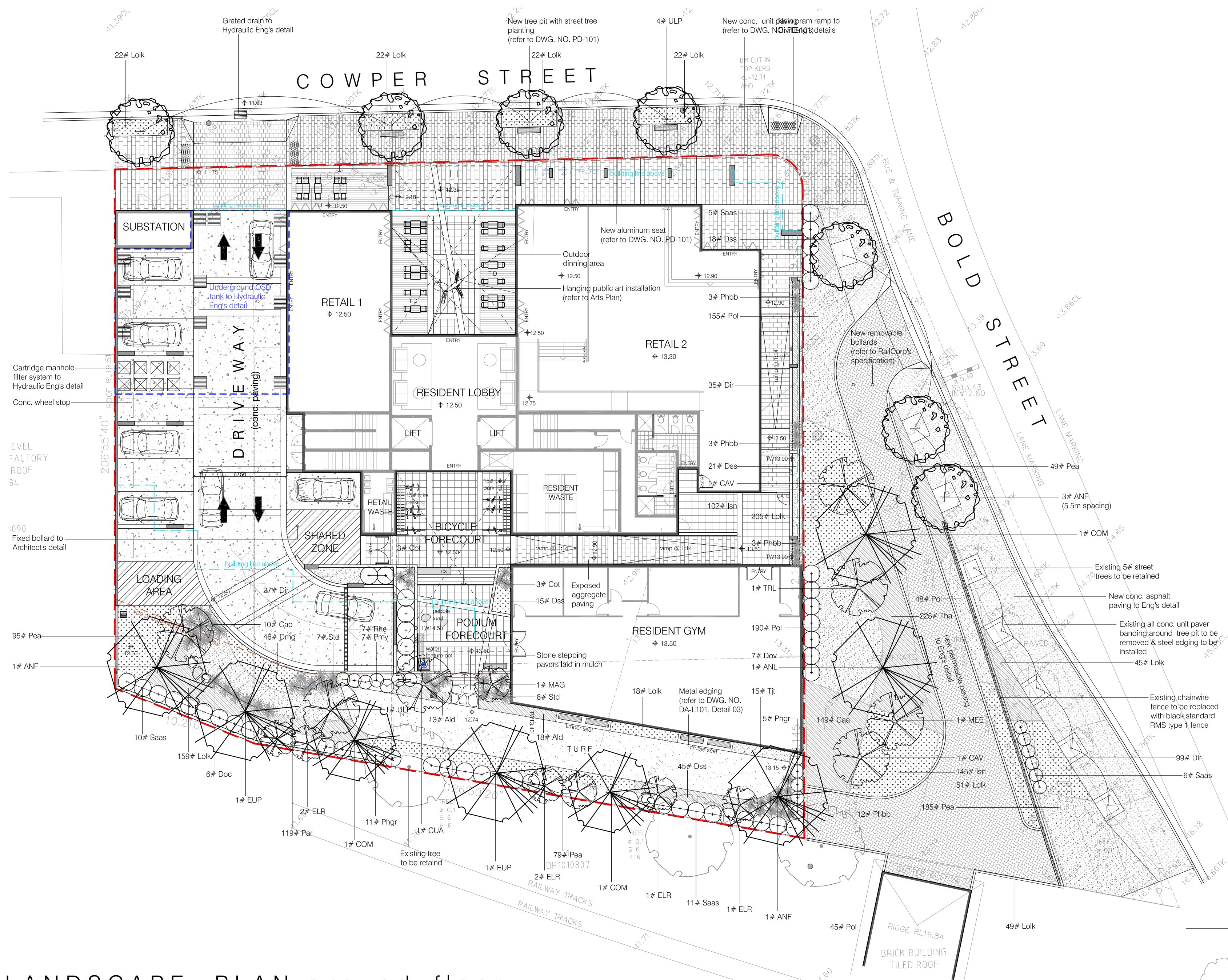
Paper/Scale:
A3/1:20

Date:
9/08/2017

Job #:
28049

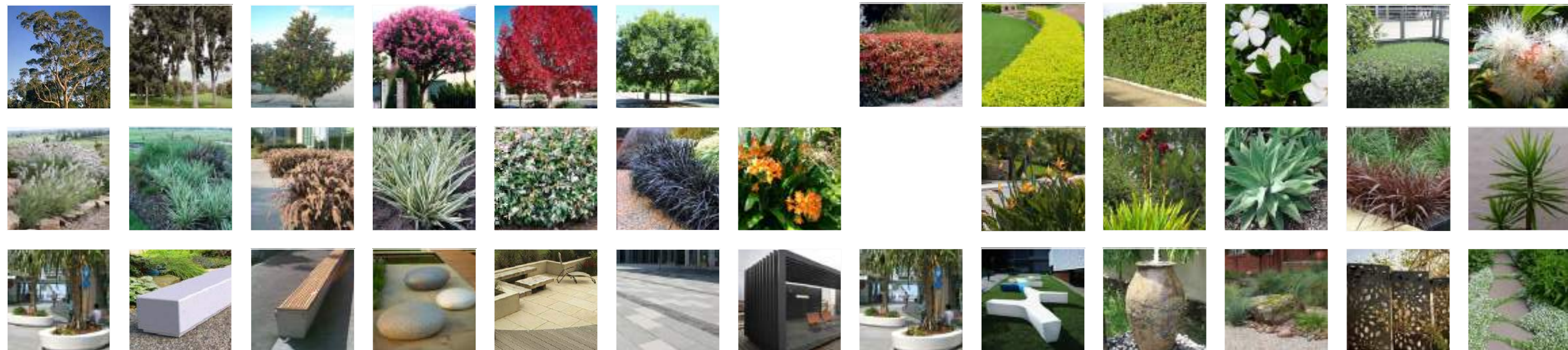
Dwg #:
39

2 - 6 Bold Street & 80 - 82 Cowper Street, Granville



LANDSCAPE PLAN:ground floor scale: 1:200

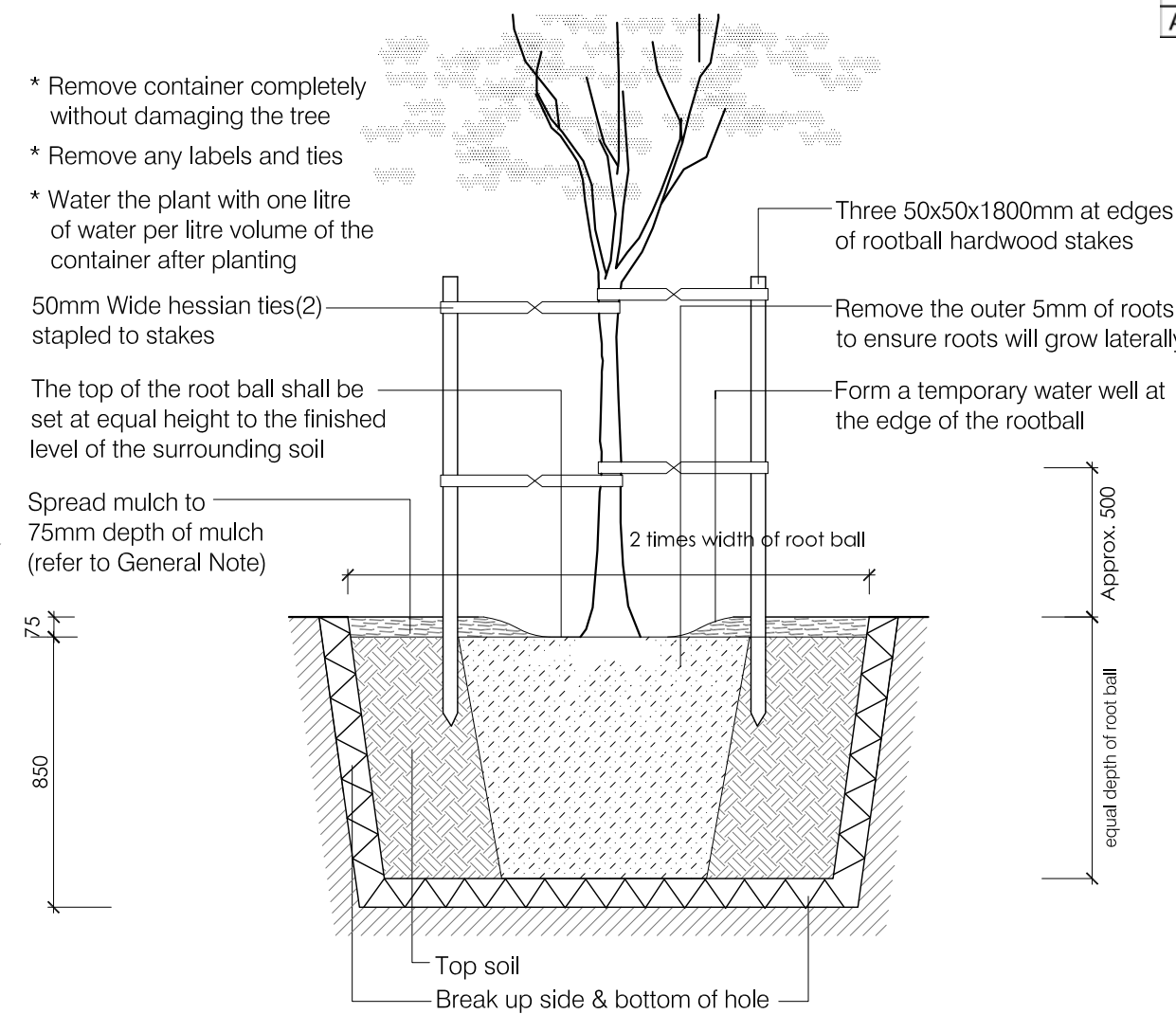
PROPOSED PLANTING & LANDSCAPE ELEMENT PALETTE



PROPOSED PLANTING SCHEDULE

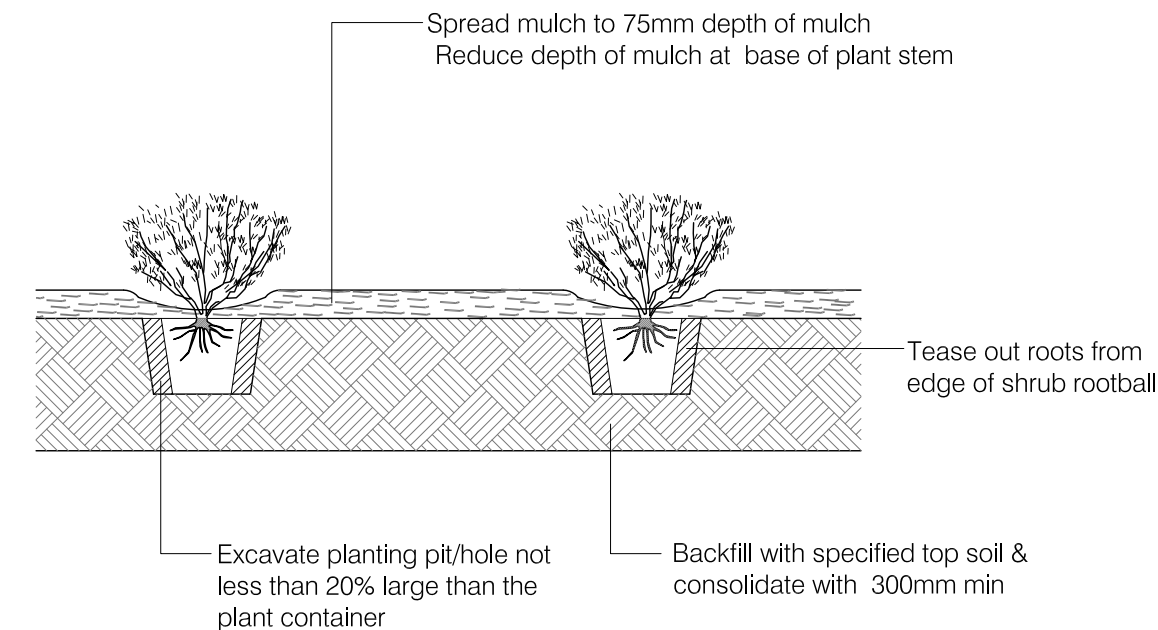
CODE	BOTANICAL NAME	COMMON NAME	POT SIZE	MATURE HEIGHT
TREES & PALM				
ACP	Acer palmatum	Japanese Maple	45L	6m
ANF	Angophora floribunda	Rough-barked Apple	45L	20m
CAV	Callistemon viminalis	Weeping Bottlebrush	6m	6m
CIL	Citrus Lemon	Lemon Tree	45L	3m
COM	Corymbia maculata	Spotted Gum	45L	20m
CUA	Cupaniopsis anacardioides	Tuckeroo	45L	6m
ELR	Elaeocarpus reticulatus	Blue-berry Ash	45L	7m
ESR	Eucalyptus 'Summer Red'	Flowering Gum	45L	6m
EUP	Eucalyptus punctata	Spotted Gum	45L	20m
LAI	Lagerstroemia indica	Crepe Myrtle	45L	6m
MAG	Magnolia gradiflora 'Little Gem'	Little Gem Magnolia	45L	5m
MEE	Metrosideros excelsa	NZ Christmas Bush	45L	8m
PLR	Plumeria rubra	Frangipani	45L	6m
TRL	Tristramia laurina	Water Gum	45L	8m
ULP	Ulmus parviflora	Chinese Elm	45L	7m
WAR	Washingtonia robusta	Mexican Fan Palm	100L	10m
SHRUBS				
Cgbf	Callistemon 'Great Balls of Fire'	Great Balls of Fire Bottlebrush	200mm	1.5m
Dov	Dodonaea viscosa	Purple-leaved Hop-bush	200mm	1.5m
Gaaf	Gardenia augusta 'Florida'	Gardenia 'Florida'	200mm	1.5m
Phgr	Phorinia glabra 'Rubens'	Phorinia	25L	2m
Pmy	Philotheca myoporoides	Wax Flower	200mm	1.5m
Rhe	Rhipsalis excelsa	Lady Palm	25L	2m
Rism	Rapidochloa indica 'Snow Maiden'	Indian Hawthorn	200mm	1.5m
Saas	Syzygium australe 'Aussie Southern'	Syzygium 'Aussie Southern'	5L	2m
Satt	Syzygium australe 'Tiny Trev'	Tiny Trev Lilly Pilly	25L	1.5m

CODE	BOTANICAL NAME	COMMON NAME	POT SIZE	MATURE HEIGHT
GROUND COVERS				
Aid	Alternanthera dentata	Ruby leaf alternanthera	150mm	0.5m
Caa	Carex appressa	Tall Sedge	150mm	0.7m
Dclj	Dianella caerulea 'Little Jess'	Flax Lily	150mm	0.4m
Dir	Dianella revoluta	Black Anther Flax Lily	150mm	0.8m
Dmg	Duranta Mini Gold	Dwarf Golden Dew Drop	200mm	0.5m
Dss	Dianella Silver Streak	Silver Streak Flax Lily	150mm	0.4m
Isn	Isoplepis nodosa	Nobby Club-rush	150mm	0.5m
Lolk	Lomandra longifolia 'Katrinus'	Spiry-headed Mat-rush 'Katrinus'	150mm	0.7m
Opj	Ophiopogon japonicus 'Black Dragon'	Mondo Grass	100mm	0.3m
Par	Fernisium advena 'Rubrum'	Purple Fountain Grass	150mm	1.5m
Pea	Fernisium alopecuroides 'cultivar'	Black Lea	150mm	0.8m
Pol	Foa labillardieri	Tussock Grass	150mm	0.8m
Sca	Scaevola aemula	Fan Flower	300mm	0.3m
Tha	Themeda australis 'Mingo'	Kangaroo Grass	150mm	0.3m
Tj	Trachelospermum jasminoides	Chinese Star Jasmine	150mm	0.3m
Tjt	Trachelospermum jasminoides 'Tricolour'	Variegated Jasmine	150mm	0.3m
ACCENT PLANTS				
Aga	Agave attenuata	Century Plant	200mm	1.5m
Aic	Alpinia caerulea 'Athena form'	Red back australian ginger	200mm	2m
Cac	Cordyline australis 'Cabernett'	Cordyline Cabernett	200mm	1.5m
Cot	Cordyline terminalis 'Tricolor'	TI Plant	200mm	2m
Doe	Doranthus excelsa	Gymea Lily	5L	2m
Drn	Dracaena Marginata	Dragon Tree	250mm	2m
Phhb	Phormium 'Bronze Baby'	Bronze Baby Flax	200mm	0.8m
Std	Strelitzia reginae dwarf	Dwarf Bird-of-Paradise	200mm	0.6m
Yue	Yucca elephantipes	Yucca	200mm	2m
TURF GRASS				
As noted	Stenotaphrum secundatum	Sir Walter Buffalo	N/A	



TYPICAL DETAIL 01: tree planting

scale: 1:25



TYPICAL DETAIL 02: shrub planting

scale: 1:20

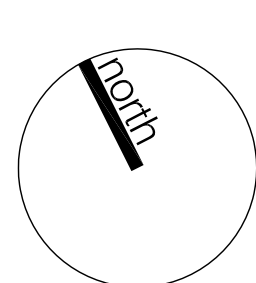
LEGEND

	Existing trees to be protected & retained		Proposed natural or artificial turf (refer to proposed plant schedule)		Proposed water feature pots		Proposed BBQ
	Proposed street trees to Council's specification		Proposed timber deck		Proposed pergola structure to Architect's detail		Proposed underground OSD tank to Hydraulic Eng's detail
	Proposed large canopy tree planting (refer to proposed plant schedule)		Proposed feature tile/conc. paver banding		Proposed on-structure planter		Proposed grated drains to Hydraulic eng's detail
	Proposed small tree planting (refer to proposed plant schedule)		Proposed conc. paving with stencil conc. banding (driveway)		Proposed feature GRC seating pot		Proposed timber seat
	Proposed shrub planting (refer to proposed plant schedule)		Proposed exposed aggregate conc. paving		Proposed cast-in-situ conc. bench		Design levels
	Proposed accent planting (refer to proposed plant schedule)		Proposed granite paving with feature banding		Proposed feature twig seat		Existing levels
	Proposed groundcover planting (refer to proposed plant schedule)		Proposed feature sandstone boulders		Proposed pebble seat		Site boundary

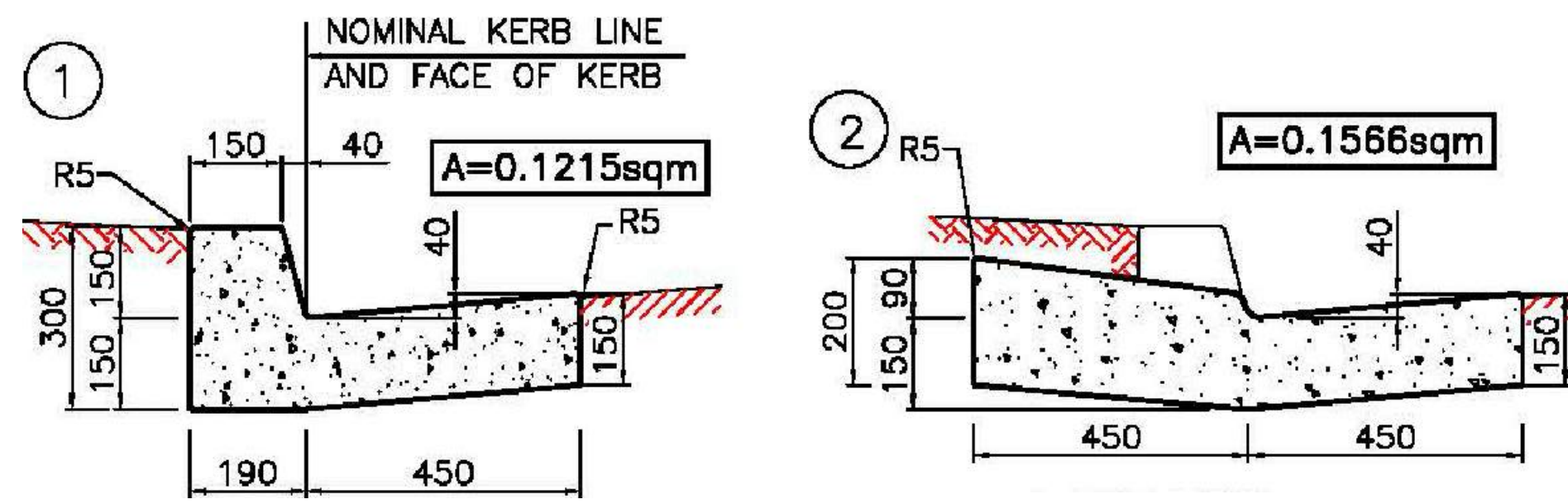


2-6 Bold St & 80-82 Cowper St, Granville NSW

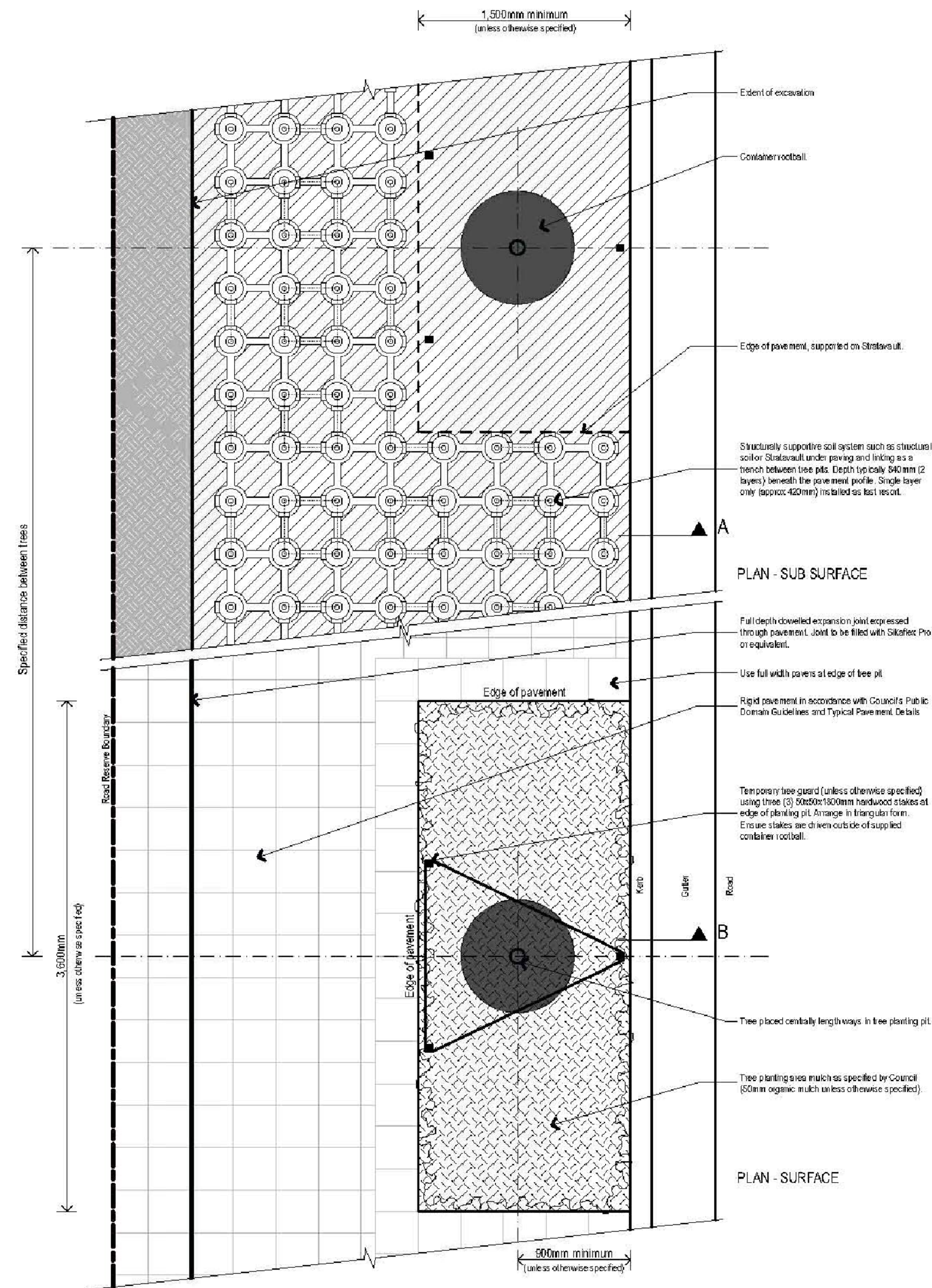
Do not scale off this drawing. Use figured dimensions only. Resolve discrepancies with The Landscape Architect before proceeding. Copyright of this drawing and designs executed remains vested in CANVAS landscape architects. Copyright remains with the Landscape Architects. Reproduction of this document is not permitted without the approval of the Landscape Architect. Contractors to verify site conditions and dimensions



dwg title	scale: 1:200 & as shown @a1	revision	date
landscape plan:	dwg no.: DA-L101	P1 co-ordination	27/05/16
ground fr +	Client: Designer Home Construcitons	A da submission	02/06/16
typical detail 01 & 02		B da amendments	19/07/16
		C da amendments	10/07/17
		D da amendments	10/08/17



DETAIL 1: kerb & gutter + layback scale: 1:10

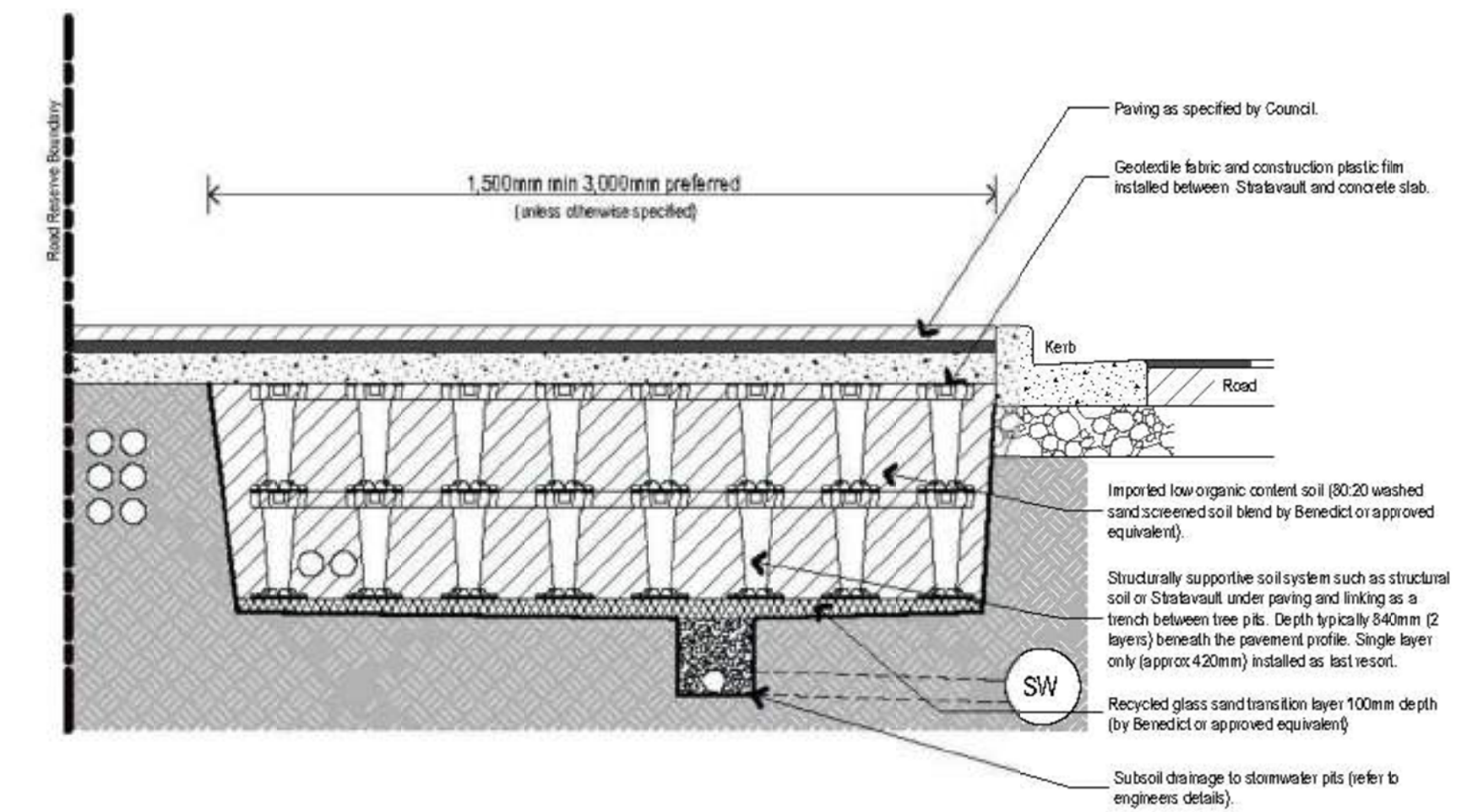


DETAIL 2: typical tree pit plan scale: 1:25

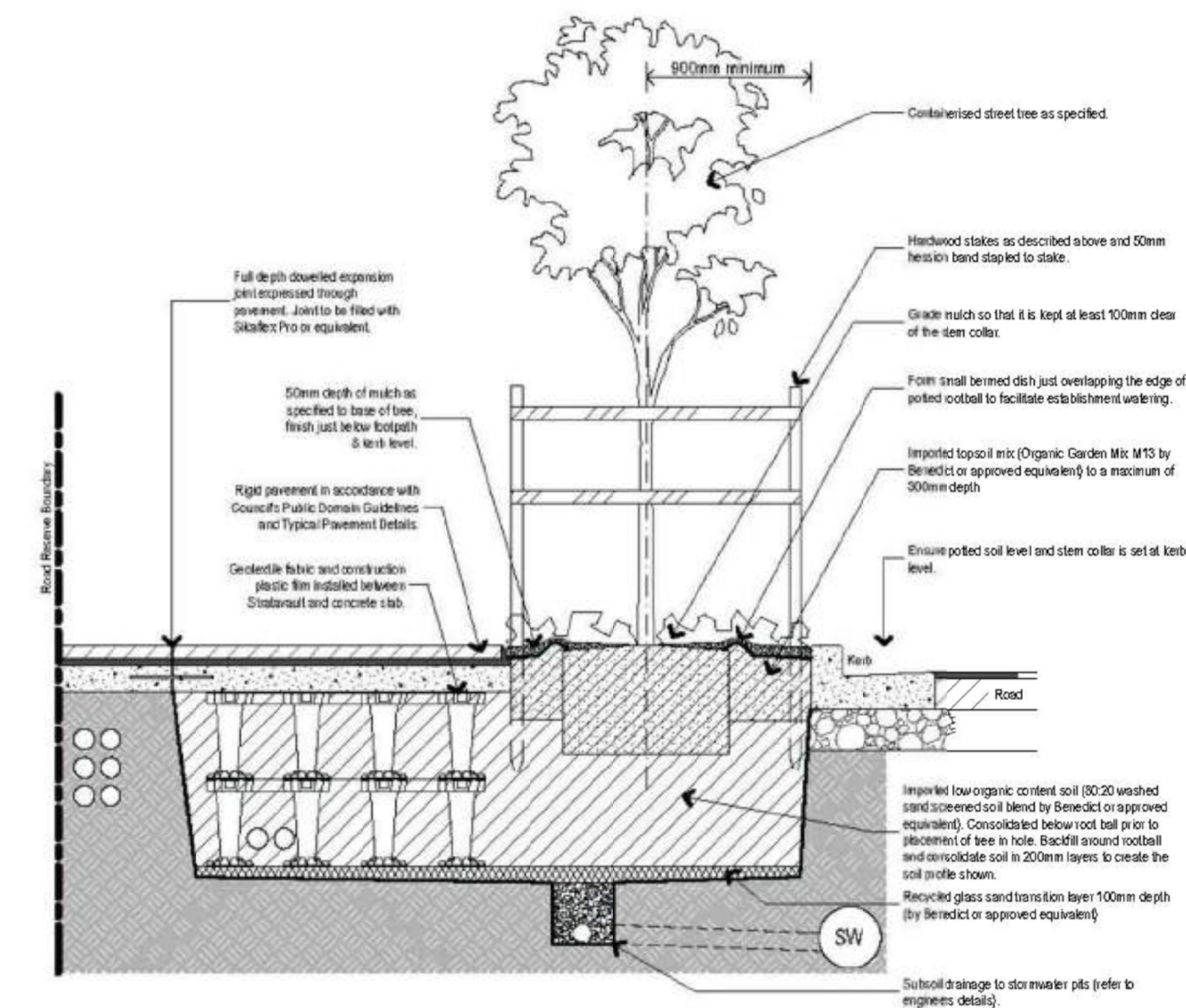
NOTE.

Four inspections will be required during construction.

1. Inspection of sub-grade prior to pouring of concrete blinding layer.
2. Inspection of finished concrete prior to placement of pavers.
3. Inspection of paving after placement.
4. Final inspection of paving (including seal).



DETAIL 3: typical section of structural soil scale: 1:25



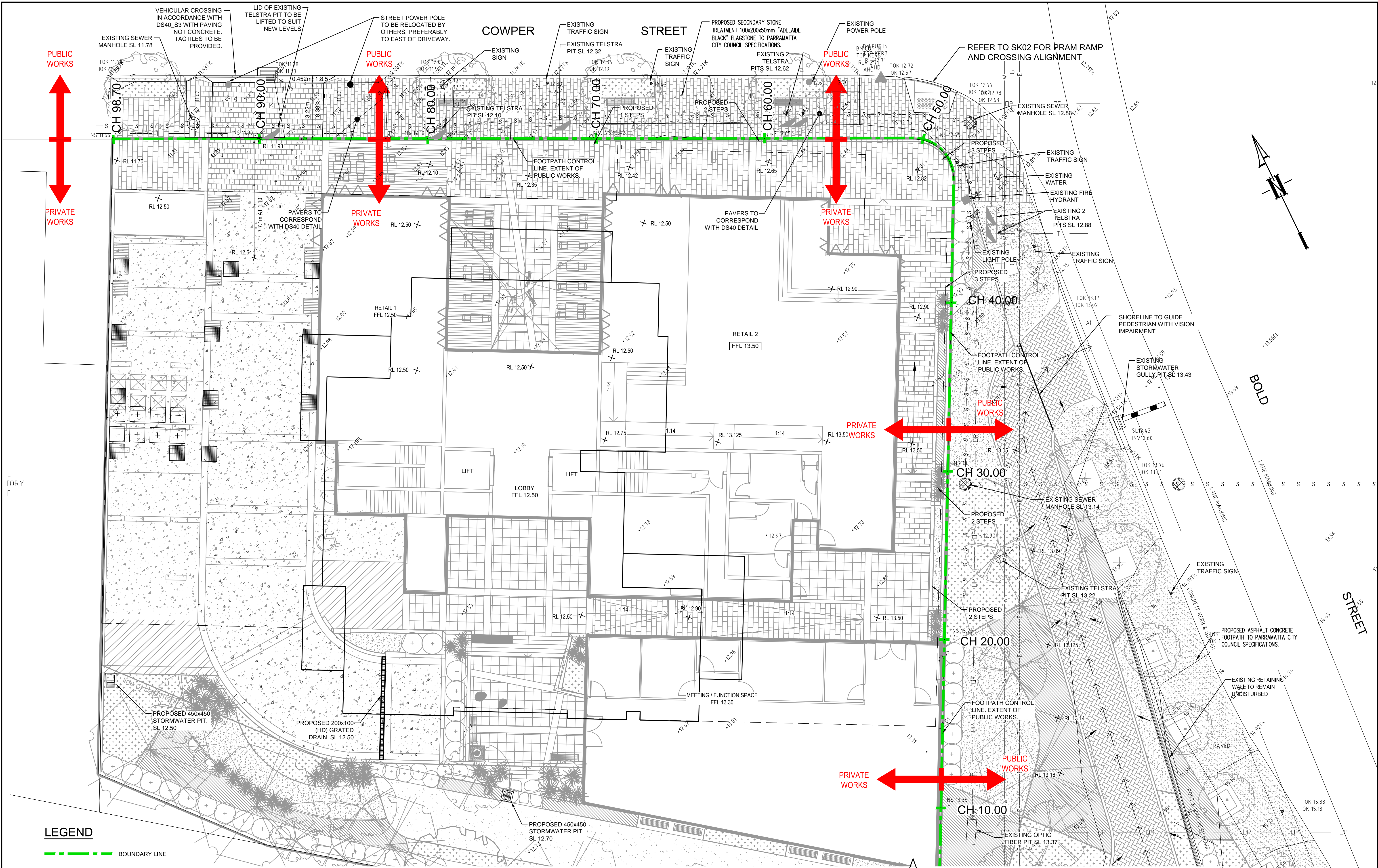
DETAIL 4: typical section of planting area scale: 1:25





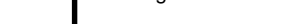
2-6 Bold St & 80-82 Cowper St, Granville NSW

Do not scale off this drawing. Use figured dimensions only. Resolve discrepancies with The Landscape Architect before proceeding. Copyright of this drawing and designs executed remains vested in CANVAS landscape architects. Copyright remains with the Landscape Architects. Reproduction of this document is not permitted without the approval of the Landscape Architect. Contractors to verify site conditions and dimensions

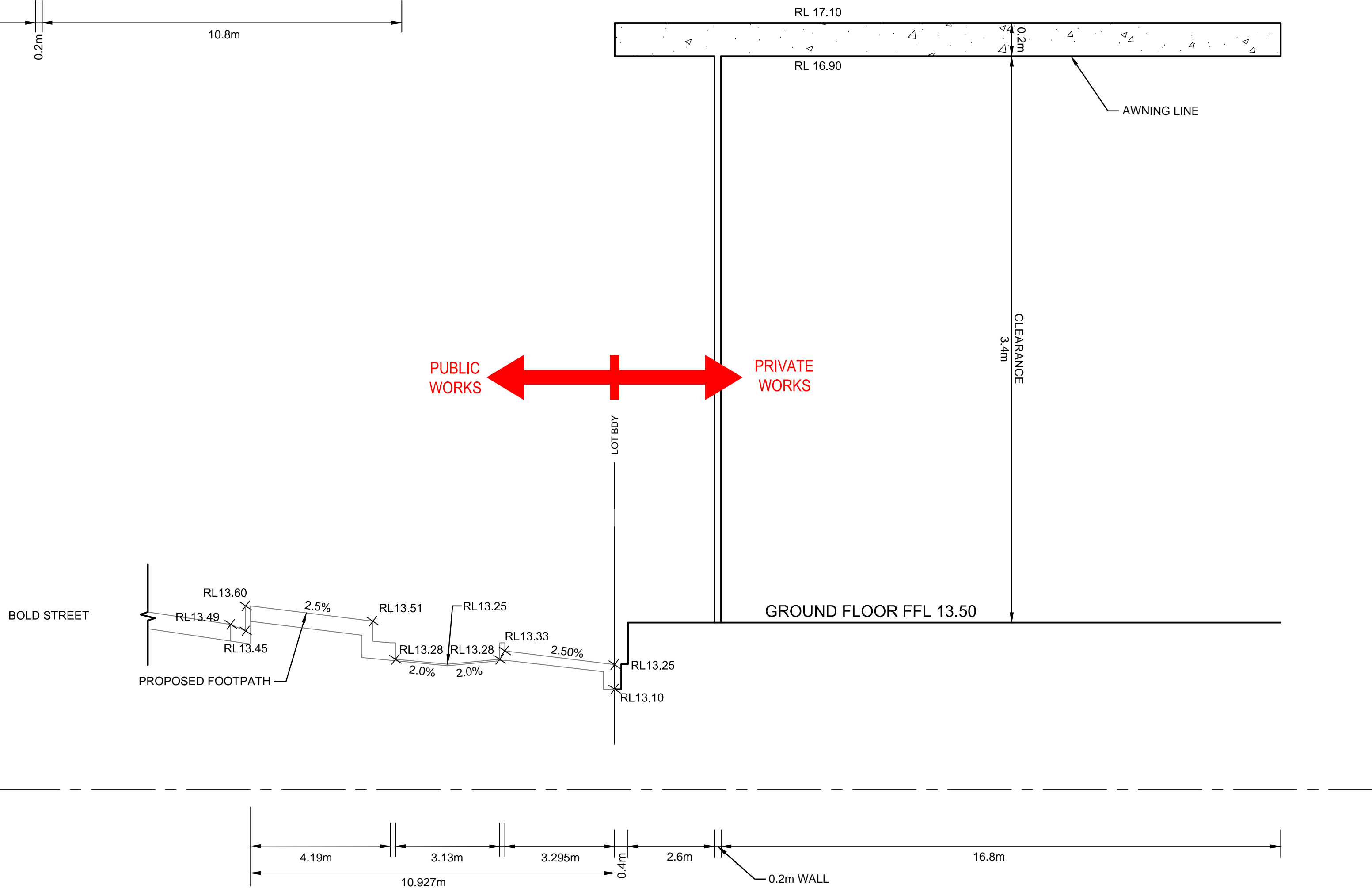
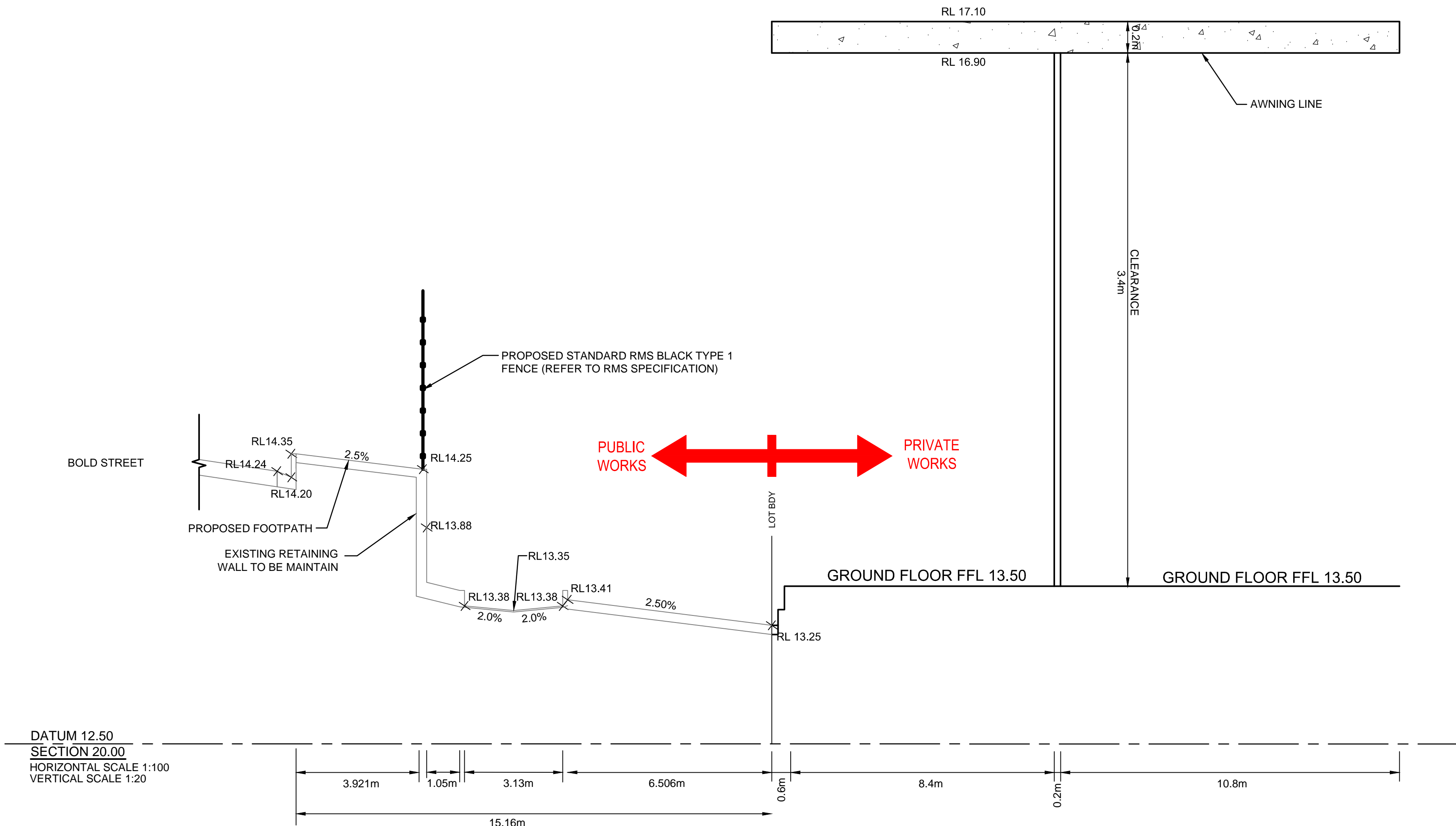
dwg title	scale: 1:10 & 25 @a1	revision	date
public domain plan 02:	dwg no.: PD-102	P1 co-ordination	27/05/16
typical details	Client: Designer Home Construcitons	A da submission	02/06/16
		B da amendments	10/07/17
		C da amendments	10/08/17



LEGEND
--- BOUNDARY LINE

H COUNCIL COMMENTS			18/08/2017	JAI	WSS	MBR	Architect IDRAFT ARCHITECTS Unit 43, 2 Slough Ave, Silverwater NSW PHONE : (02) 9648 8848	Client Designer Home Construction Pty Ltd Council Parramatta City Council	Scale  SCALE 1:100 @ A1	Certification By:  Anthony Hasham	 AUSTRALIAN CONSULTING ENGINEERS. PTY LTD - A.C.N. 084 059 941 SHOP 2-4/1 CONCORD RD NORTH STRATHFIELD NSW 2157 PH: (02) 9763 1500 FX: (02) 9763 1515 EMAIL: info@aceeng.com.au	Project 2-6 BOLD STREET & 80-82 COWPER STREET, GRANVILLE PROPOSED MIXED-USE DEVELOPMENT STORMWATER CONCEPT PLAN DEVELOPMENT APPLICATION	Drawing Title FOOTPATH CROSS FALL PLAN EXISTING GROUND LEVEL				
G COUNCIL COMMENTS			21/07/2017	CAM	MBR	MBR											
F COUNCIL COMMENTS			20/04/2017	MBR	MBR	MBR											
E MINOR ARCHITECTURAL AMENDMENTS			02/12/2016	MBR	MBR	MBR											
D MINOR ARCHITECTURAL AMENDMENTS			30/05/2016	MBR	MBR	MBR											
Issue	Description	Date	Drawn	Design	Checked	200m							Scale 1:100	A1	Project No. ACE170865.SW.DA	Dwg. No. SK01	Issue H

- GENERAL NOTES:**
- 1- PAVED FOOTPATHS OVER CONCRETE BASE TO BE INSTALLED IN ACCORDANCE WITH COUNCIL STD DRG DS40 TYPICAL FOOTWAY SECTION.
 - 2- ANY NEW CONCRETE KERB & GUTTER TO BE INSTALLED IN ACCORDANCE WITH COUNCIL STD DRG D51 KERB & GUTTER & LAYBACKS.

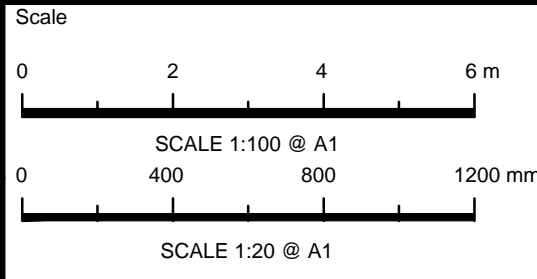


NOT FOR CONSTRUCTION

H	COUNCIL COMMENTS	18/08/2017	JAI	WSS	MBR
G	COUNCIL COMMENTS	21/07/2017	CAM	MBR	MBR
F	COUNCIL COMMENTS	20/04/2017	MBR	MBR	MBR
E	MINOR ARCHITECTURAL AMENDMENTS	02/12/2016	MBR	MBR	MBR
D	MINOR ARCHITECTURAL AMENDMENTS	30/05/2016	MBR	MBR	MBR
Issue	Description	Date	Drawn	Design	Checked
1					

Architect
IDRAFT ARCHITECTS
Unit 43, 2 Slough Ave,
Silverwater NSW
PHONE : (02) 9648 8848

Client
Designer Home Construction Pty Ltd
Council
Parramatta City Council



Certification By:

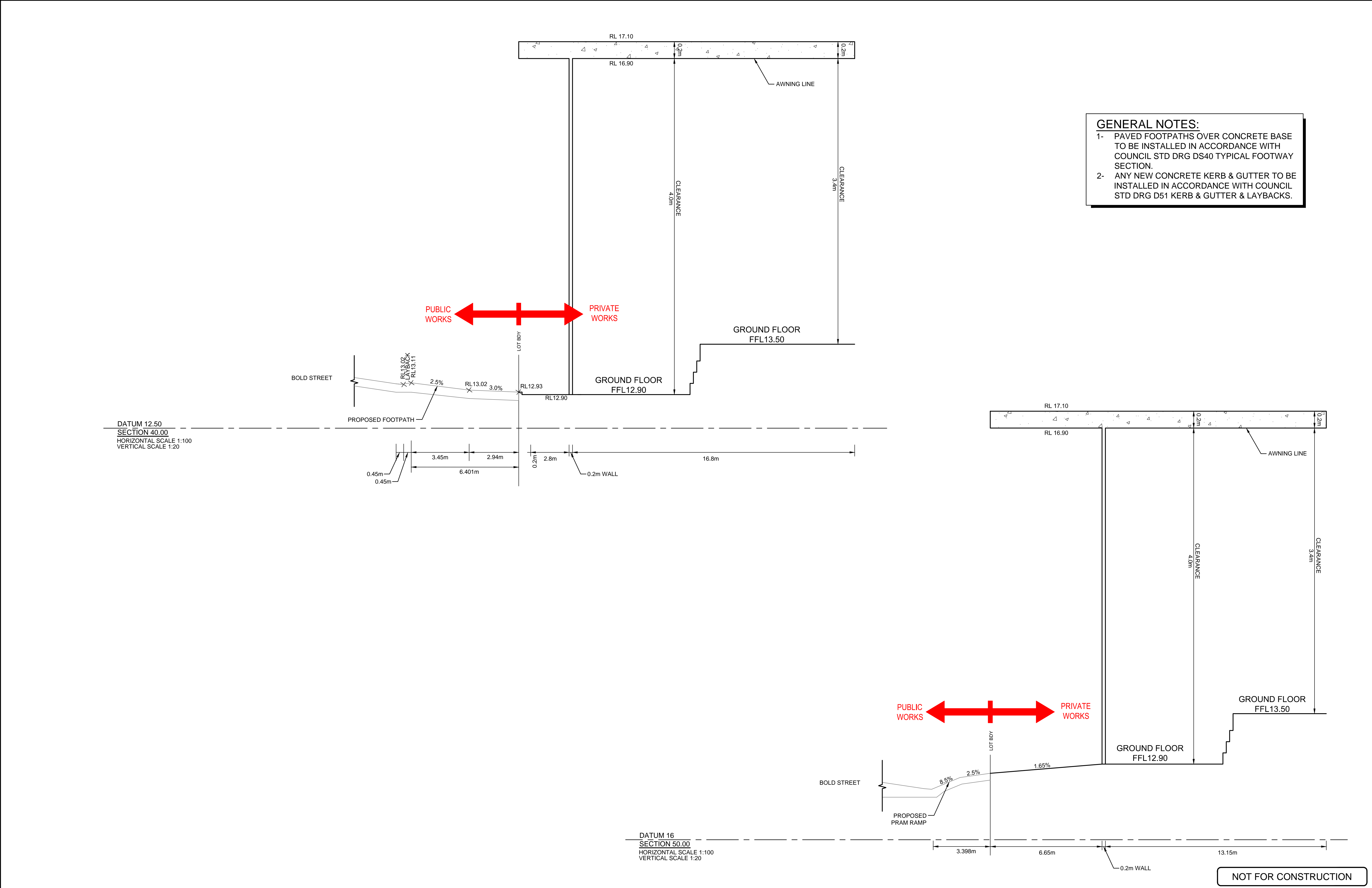
Anthony Hasham

AUSTRALIAN CONSULTING ENGINEERS.
AUSTRALIAN CONSULTING ENGINEERS.
PTY LTD - A.C.N. 084 059 941
SHOP 2-4/1 CONCORD RD NORTH STRATHFIELD NSW 2137
PH. (02) 9763 1500 FX. (02) 9763 1515
EMAIL: info@aceeng.com.au

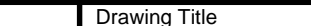



Project
2-6 BOLD STREET & 80-82 COWPER STREET, GRANVILLE PROPOSED MIXED-USE DEVELOPMENT STORMWATER CONCEPT PLAN DEVELOPMENT APPLICATION

Drawing Title
FOOTPATH CROSS SECTIONS SHEET 2 OF 6

Scale	A1	Project No.	Dwg. No.	Issue
As Shown		ACE170865.SW.DA	SK04	H

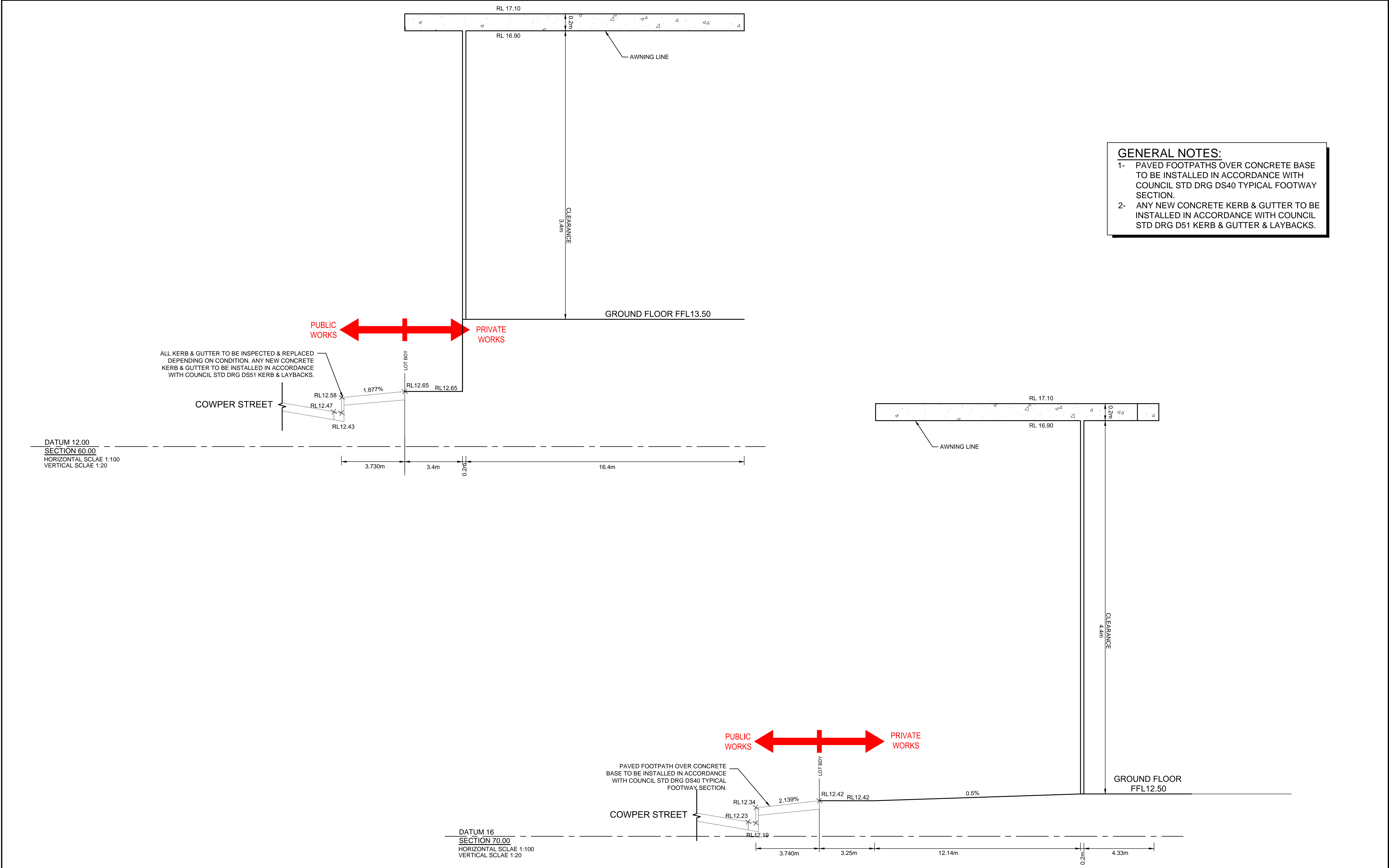


- GENERAL NOTES:**
- 1- PAVED FOOTPATHS OVER CONCRETE BASE TO BE INSTALLED IN ACCORDANCE WITH COUNCIL STD DRG DS40 TYPICAL FOOTWAY SECTION.
 - 2- ANY NEW CONCRETE KERB & GUTTER TO BE INSTALLED IN ACCORDANCE WITH COUNCIL STD DRG D51 KERB & GUTTER & LAYBACKS.

H	COUNCIL COMMENTS	18/08/2017	JAI	WSS	MBR	Architect	Client	Scale	Certification By:	 AUSTRALIAN CONSULTING ENGINEERS. PTY LTD - A.C.N. 084 059 941 SHOP 2-4/1 CONCORD RD NORTH STRATHFIELD NSW 2137 PH: (02) 9763 1500 FX: (02) 9763 1515 EMAIL: info@aceeng.com.au	Project	2-6 BOLD STREET & 80-82 COWPER STREET, GRANVILLE PROPOSED MIXED-USE DEVELOPMENT STORMWATER CONCEPT PLAN DEVELOPMENT APPLICATION	Drawing Title	FOOTPATH CROSS SECTIONS SHEET 3 OF 6		
G	COUNCIL COMMENTS	21/07/2017	CAM	MBR	MBR	IDRAFT ARCHITECTS Unit 43, 2 Slough Ave, Silverwater NSW PHONE : (02) 9648 8848	Designer Home Construction Pty Ltd	 SCALE 1:100 @ A1  SCALE 1:20 @ A1	 Anthony Hasham							
F	COUNCIL COMMENTS	20/04/2017	MBR	MBR	MBR		Council									
E	MINOR ARCHITECTURAL AMENDMENTS	02/12/2016	MBR	MBR	MBR		Parramatta City Council									
D	MINOR ARCHITECTURAL AMENDMENTS	30/05/2016	MBR	MBR	MBR											
Issue	Description	Date	Drawn	Design	Checked											
1	0	10m at full size			200m											






NOT FOR CONSTRUCTION

Scale	A1	Project No.	Dwg. No.	Issue
As Shown	ACE170865.SW.DA	SK05	H	

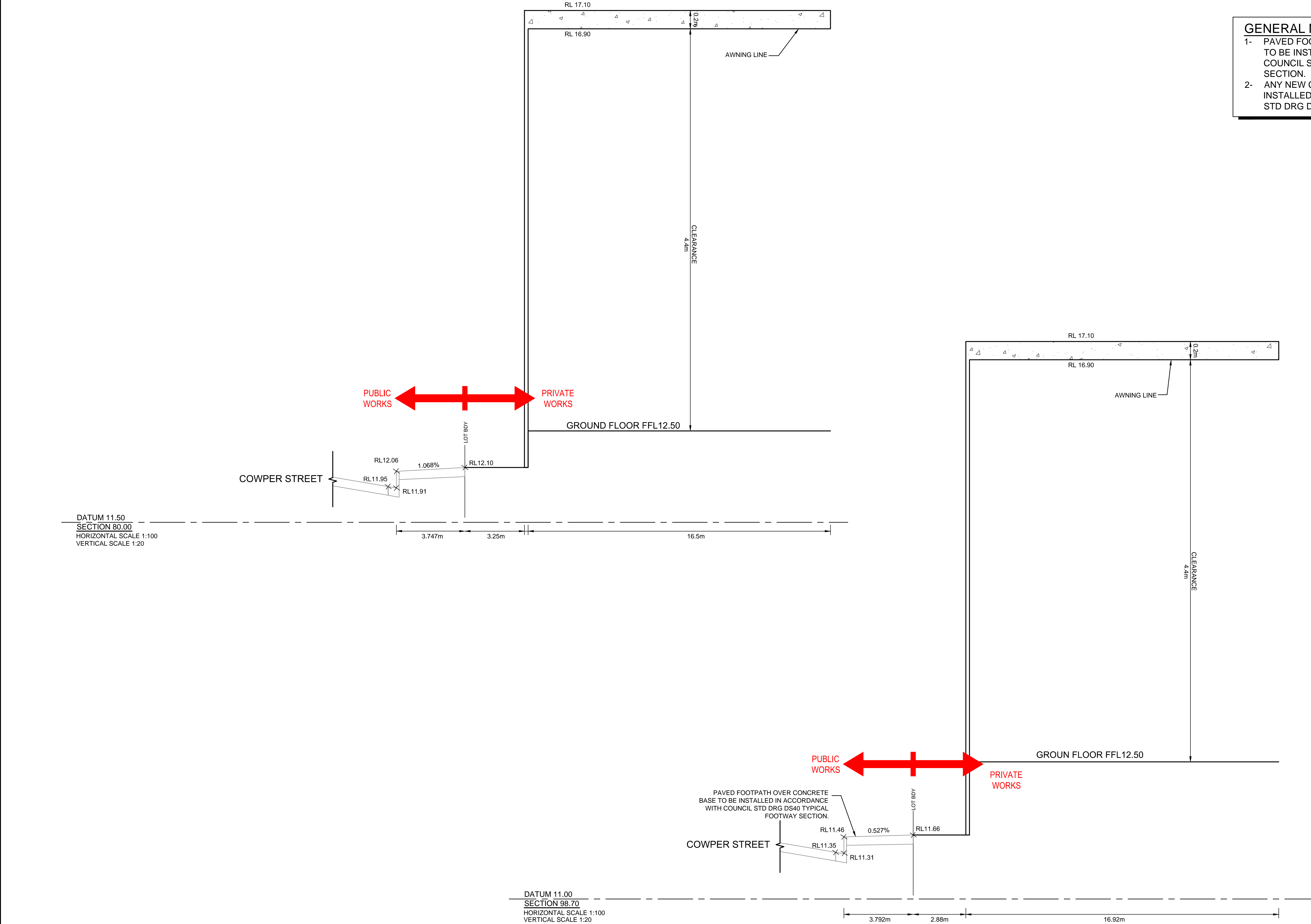


- GENERAL NOTES:**
- 1- PAVED FOOTPATHS OVER CONCRETE BASE TO BE INSTALLED IN ACCORDANCE WITH COUNCIL STD DRG DS40 TYPICAL FOOTWAY SECTION.
 - 2- ANY NEW CONCRETE KERB & GUTTER TO BE INSTALLED IN ACCORDANCE WITH COUNCIL STD DRG D51 KERB & GUTTER & LAYBACKS.

NOT FOR CONSTRUCTION

H	COUNCIL COMMENTS	18/08/2017	JAI	WSS	MBR	Architect	Client	Scale	Certification By:	 Anthony Hasham	 AUSTRALIAN CONSULTING ENGINEERS. PTY LTD - A.C.N. 084 059 941 SHOP 2-4/1 CONCORD RD NORTH STRATHFIELD NSW 2137 Ph: (02) 9763 1500 Fx: (02) 9763 1515 EMAIL: info@aceeng.com.au	Project 2-6 BOLD STREET & 80-82 COWPER STREET, GRANVILLE PROPOSED MIXED-USE DEVELOPMENT STORMWATER CONCEPT PLAN DEVELOPMENT APPLICATION	Drawing Title FOOTPATH CROSS SECTIONS SHEET 4 OF 6			
G	COUNCIL COMMENTS	21/07/2017	CAM	MBR	MBR	IDRAFT ARCHITECTS Unit 43, 2 Slough Ave, Silverwater NSW PHONE : (02) 9648 8848	Designer Home Construction Pty Ltd	 SCALE 1:100 @ A1  SCALE 1:20 @ A1	As Shown				A1	Project No. ACE170865.SW.DA	Dwg. No. SK06	Issue H
F	COUNCIL COMMENTS	20/04/2017	MBR	MBR	MBR											
E	MINOR ARCHITECTURAL AMENDMENTS	02/12/2016	MBR	MBR	MBR											
D	MINOR ARCHITECTURAL AMENDMENTS	30/05/2016	MBR	MBR	MBR	Council Parramatta City Council										
Issue	Description	Date	Drawn	Design	Checked											
																

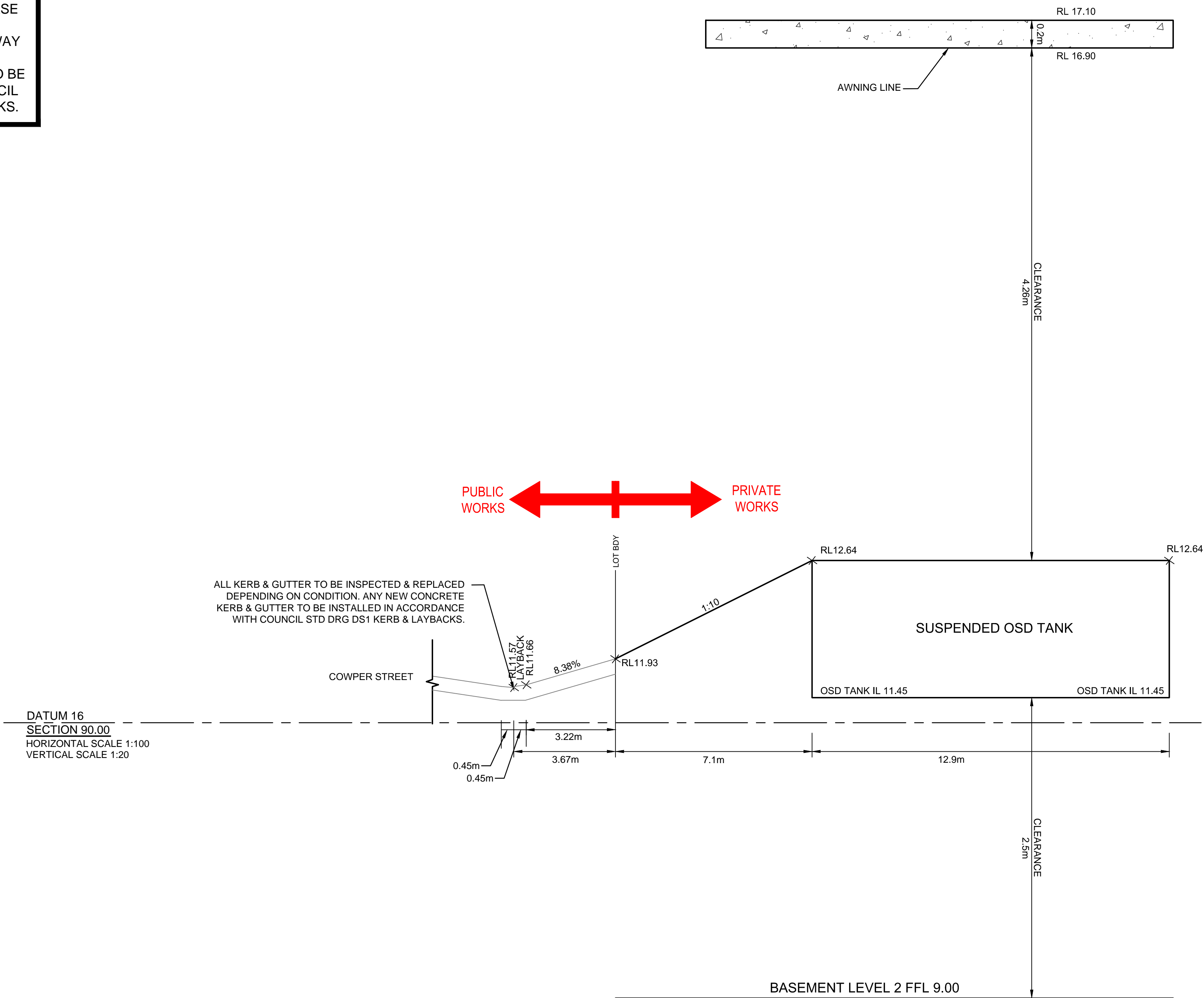
- GENERAL NOTES:**
- 1- PAVED FOOTPATHS OVER CONCRETE BASE TO BE INSTALLED IN ACCORDANCE WITH COUNCIL STD DRG DS40 TYPICAL FOOTWAY SECTION.
 - 2- ANY NEW CONCRETE KERB & GUTTER TO BE INSTALLED IN ACCORDANCE WITH COUNCIL STD DRG D51 KERB & GUTTER & LAYBACKS.



H	COUNCIL COMMENTS	18/08/2017	JAI	WSS	MBR	Architect	Client	Scale	Certification By:	Project	Drawing Title
G	COUNCIL COMMENTS	21/07/2017	CAM	MBR	MBR	IDRAFT ARCHITECTS	Designer Home Construction Pty Ltd	0 2 4 6 m		2-6 BOLD STREET & 80-82 COWPER STREET, GRANVILLE	FOOTPATH CROSS SECTIONS SHEET 5 OF 6
F	COUNCIL COMMENTS	20/04/2017	MBR	MBR	MBR	Unit 43, 2 Slough Ave, Silverwater NSW	Council	0 400 800 1200 mm		PROPOSED MIXED-USE DEVELOPMENT	Scale A1 As Shown
E	MINOR ARCHITECTURAL AMENDMENTS	02/12/2016	MBR	MBR	MBR	PHONE : (02) 9648 8848	Parramatta City Council	SCALE 1:20 @ A1	PTV LTD - A.C.N. 084 059 941	STORMWATER CONCEPT PLAN	Project No. ACE170865.SW.DA
D	MINOR ARCHITECTURAL AMENDMENTS	30/05/2016	MBR	MBR	MBR				SHOP 2-141 CONCORD RD NORTH STRATHFIELD NSW 2137	DEVELOPMENT APPLICATION	Dwg. No. SK07
Issue	Description	Date	Drawn	Design	Checked				ENGINEERS. EMAIL: info@aceeng.com.au		Issue H

GENERAL NOTES:

- 1- PAVED FOOTPATHS OVER CONCRETE BASE TO BE INSTALLED IN ACCORDANCE WITH COUNCIL STD DRG DS40 TYPICAL FOOTWAY SECTION.
- 2- ANY NEW CONCRETE KERB & GUTTER TO BE INSTALLED IN ACCORDANCE WITH COUNCIL STD DRG D51 KERB & GUTTER & LAYBACKS.

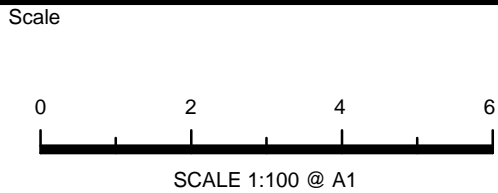


NOT FOR CONSTRUCTION

H	COUNCIL COMMENTS	18/08/2017	JAI	WSS	MBR
G	COUNCIL COMMENTS	21/07/2017	CAM	MBR	MBR
F	COUNCIL COMMENTS	20/04/2017	MBR	MBR	MBR
E	MINOR ARCHITECTURAL AMENDMENTS	02/12/2016	MBR	MBR	MBR
D	MINOR ARCHITECTURAL AMENDMENTS	30/05/2016	MBR	MBR	MBR
Issue	Description	Date	Drawn	Design	Checked

Architect
IDRAFT ARCHITECTS
Unit 43, 2 Slough Ave,
Silverwater NSW
PHONE : (02) 9648 8848

Client
Designer Home Construction Pty Ltd
Council
Parramatta City Council



Certification By:

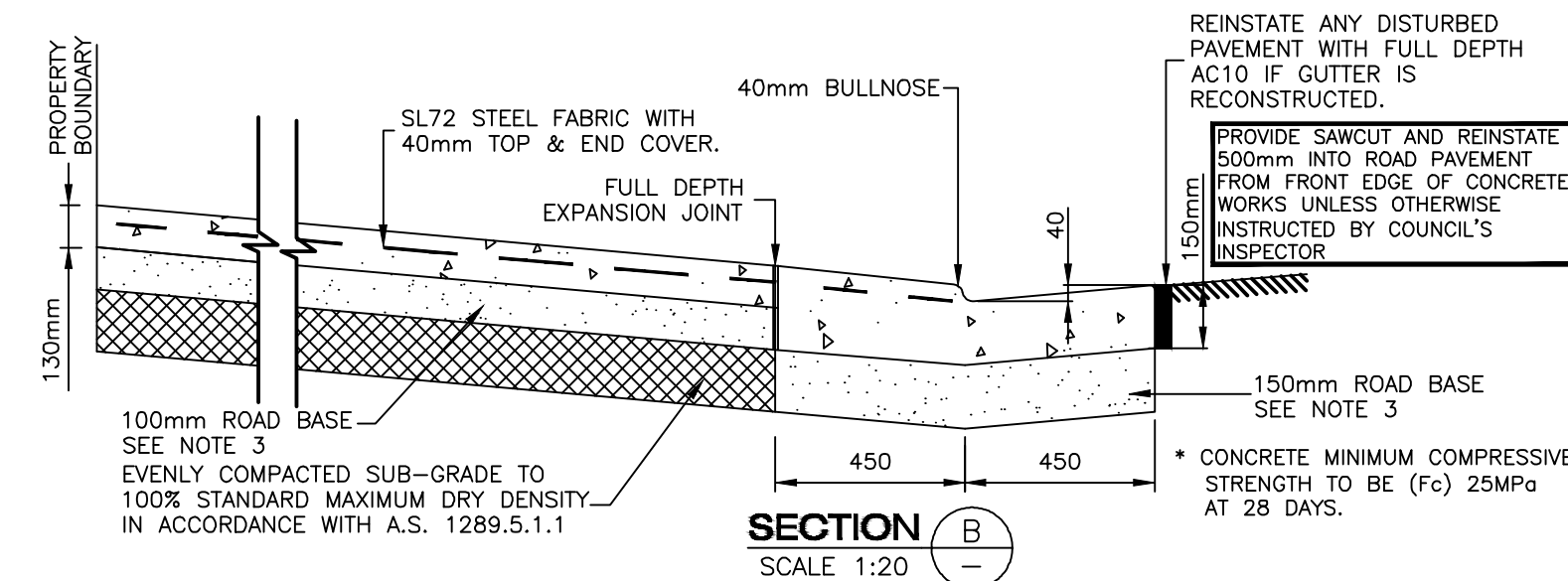
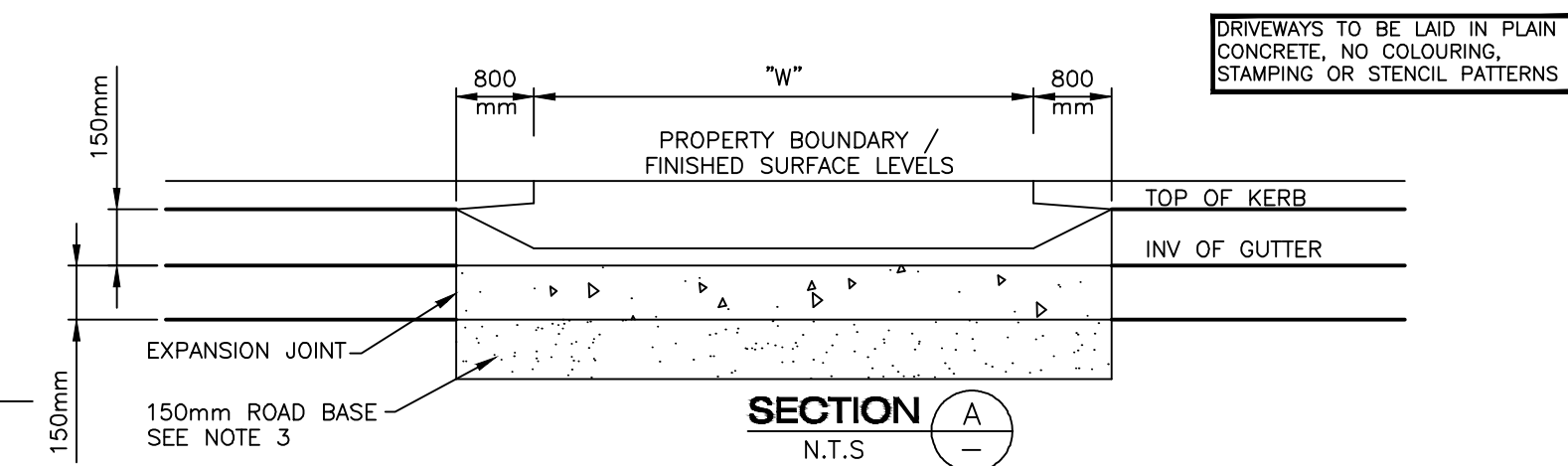
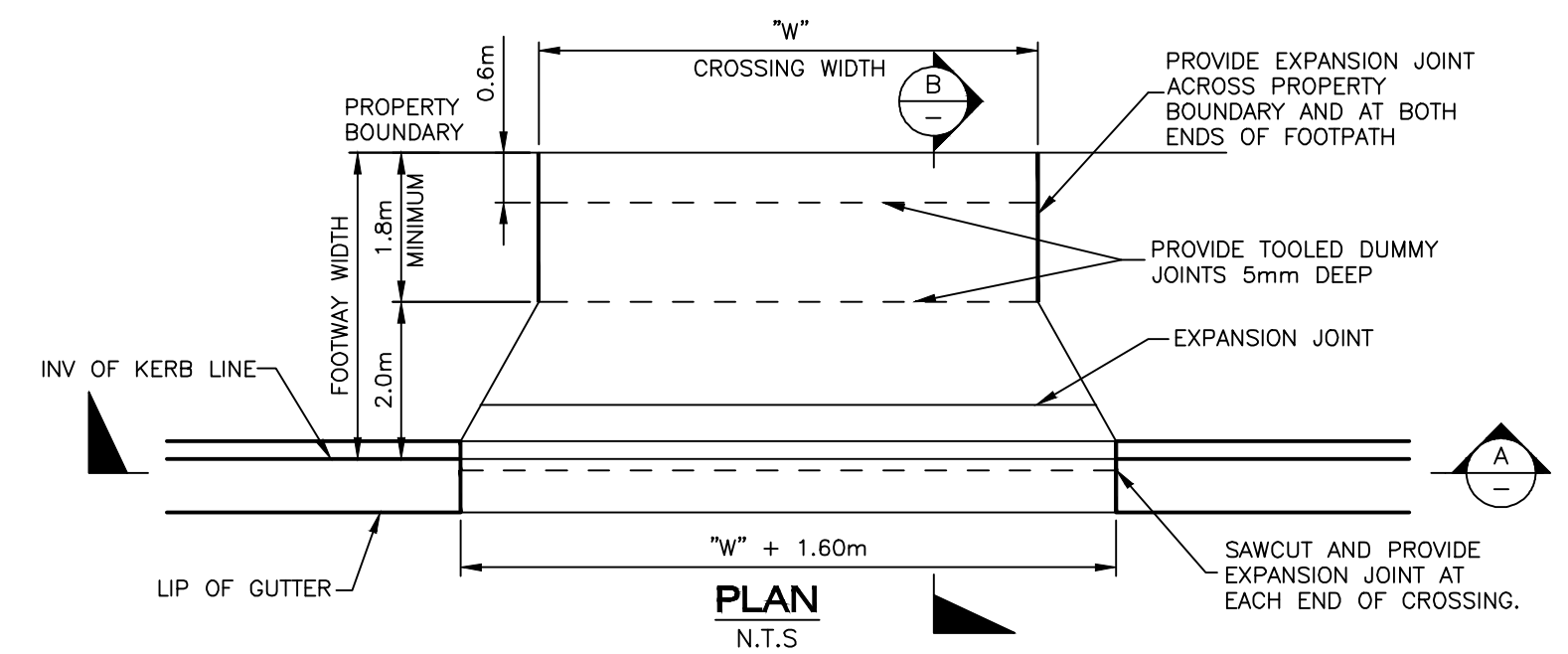
Anthony Hasham

AUSTRALIAN CONSULTING ENGINEERS.
P T Y L T D - A C N 0 8 4 0 5 9 9 4 1
SHOP 2-141 CONCORD RD NORTH STRATHFIELD NSW 2137
PH: (02) 9763 1500 FX: (02) 9763 1515
EMAIL: info@aceeng.com.au

Project
2-6 BOLD STREET & 80-82 COWPER STREET, GRANVILLE PROPOSED MIXED-USE DEVELOPMENT STORMWATER CONCEPT PLAN DEVELOPMENT APPLICATION

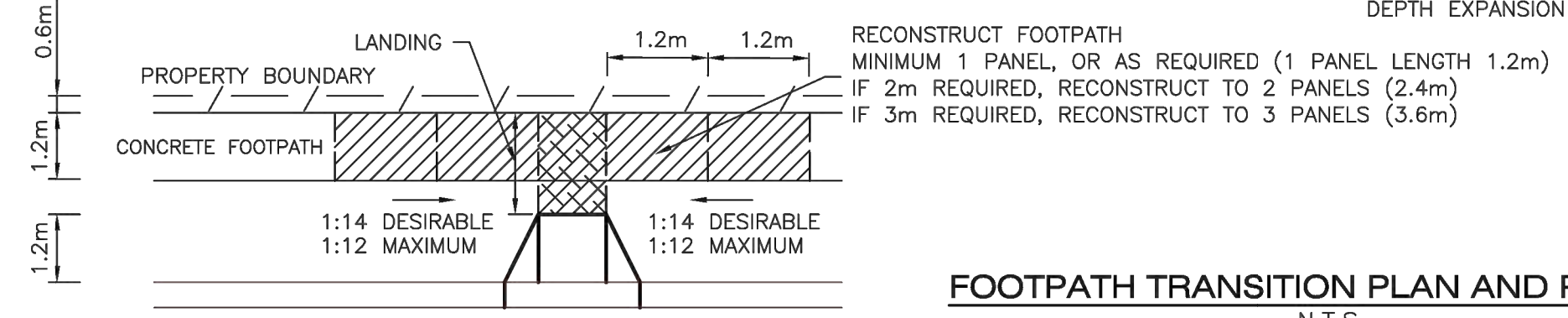
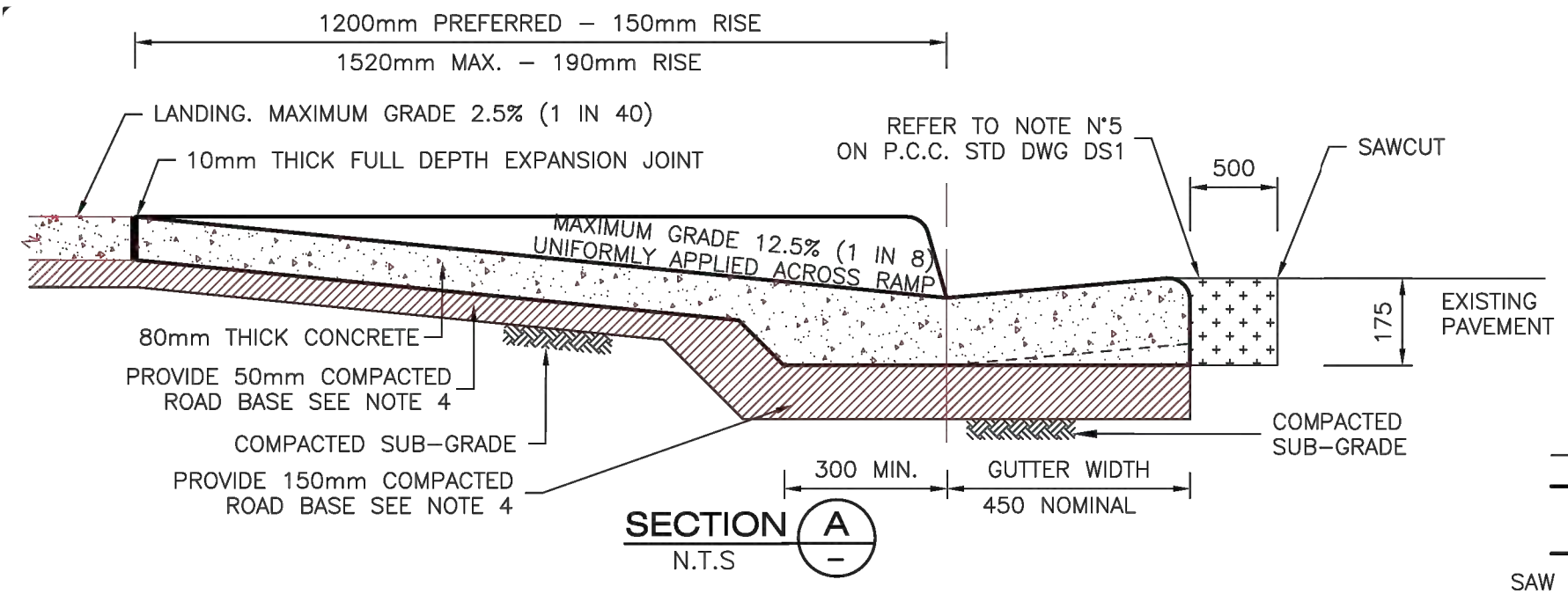
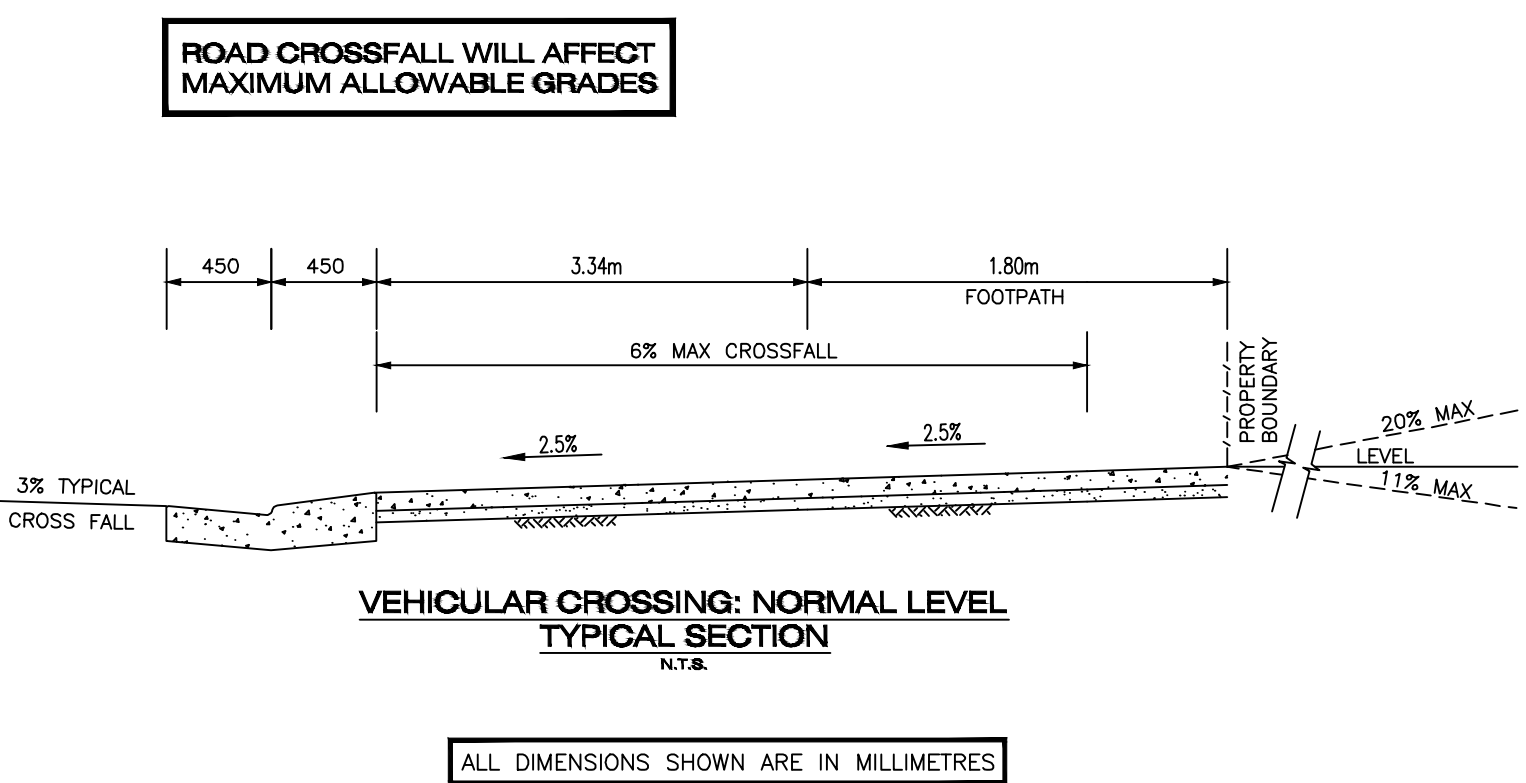
Drawing Title
FOOTPATH CROSS SECTIONS SHEET 6 F 6

Scale 1:100	A1	Project No. ACE170865.SW.DA	Dwg. No. SK08	Issue H
----------------	----	--------------------------------	------------------	------------



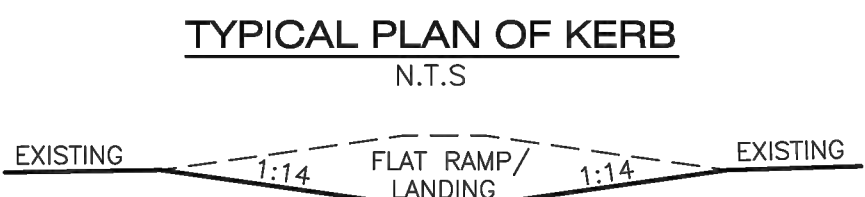
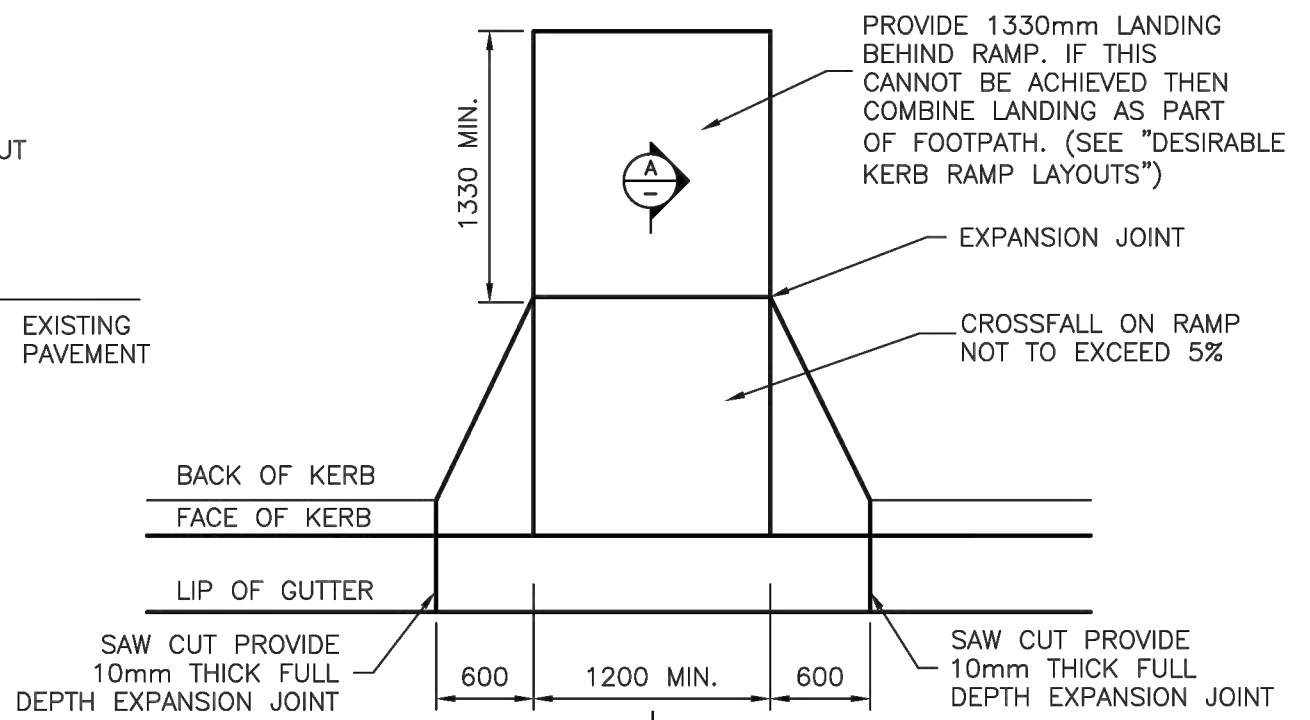
NOTES

- ALL EXISTING KERB AND GUTTER SHALL BE REMOVED PRIOR TO ANY NEW DRIVEWAY WORKS.
- VEHICULAR CROSSING LEVELS TO BE IN ACCORDANCE WITH DETAILED DRAWING.
- ROAD BASE MATERIAL IS TO BE DGB20 OR SIMILAR AND COMPACTED TO 100% STANDARD MAXIMUM DRY DENSITY IN ACCORDANCE WITH A.S. 1289.5.1.1
- ALL DISTURBED AREAS TO BE TOPSOILED WITH 75mm OF APPROVED LOAM AND TURFED AS SOON AS PRACTICABLE TO ENCOURAGE REVEGETATION AND MINIMISE SOIL EROSION FROM SITE.
- EXISTING CONCRETE FOOTPAVING IS TO BE RECONSTRUCTED AS REQUIRED BY COUNCIL'S INSPECTOR OR PROJECT MANAGER TO MATCH THE CROSSING.
- THE FOOTWAY IS TO BE SHAPED AS REQUIRED BY COUNCIL'S INSPECTOR OR PROJECT MANAGER TO THE CROSSING EVENLY.
- THIS PLAN DOES NOT APPLY FOR FOOTWAY WIDTHS LESS THAN 2.8m.
- ALL SURFACES TO BE BROOM OR WOOD FLOAT FINISHED.

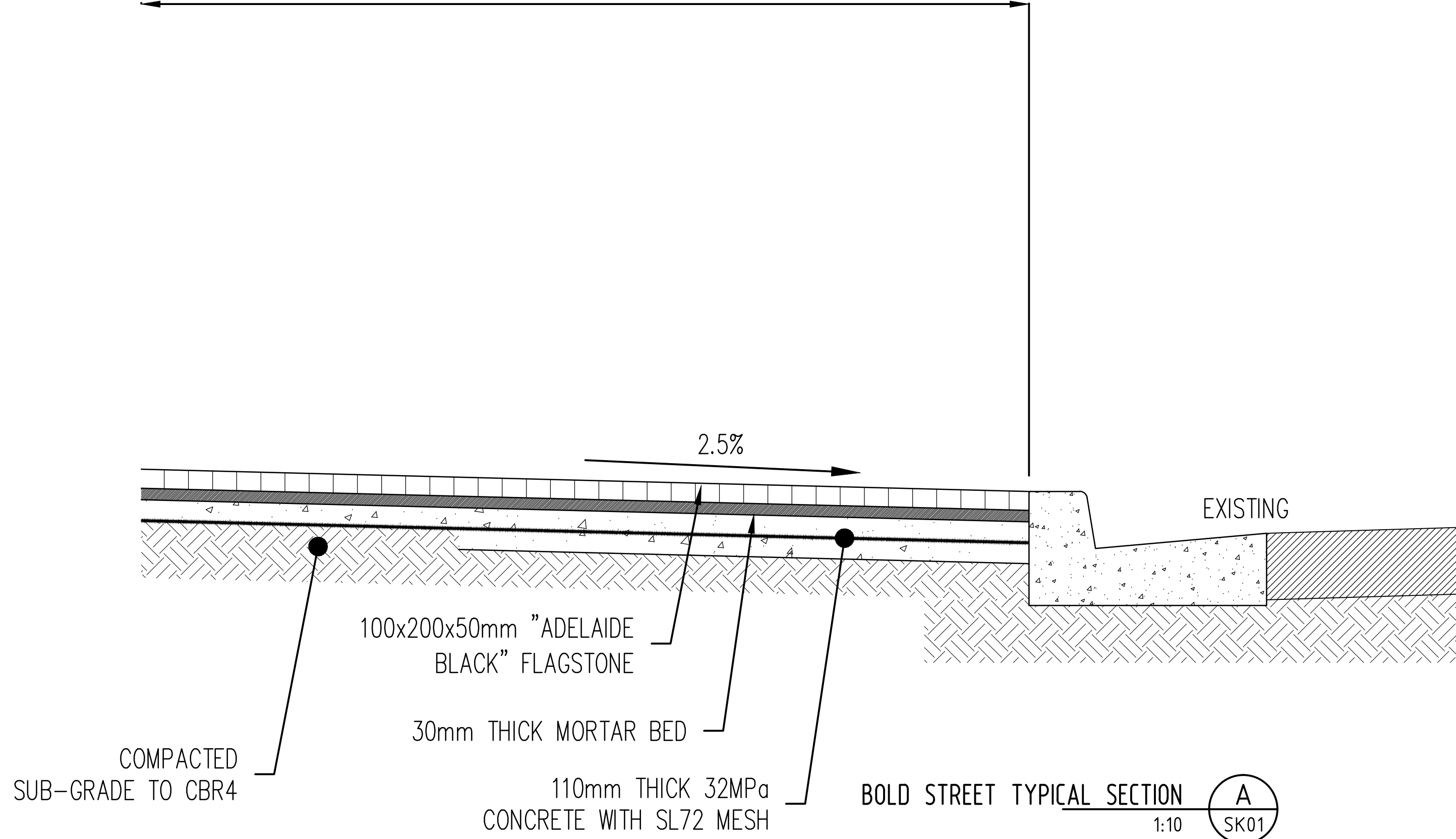


NOTES

- DESIGN OF THE STANDARD KERB RAMP IS BASED ON AS 1428.1 & RTA TECHNICAL DIRECTION TDT 2002/08.
- FOR KERB RAMP LOCATION REFER TO PROJECT DRAWINGS OR AS INSTRUCTED BY PCC OFFICER.
- CONCRETE TO BE 25MPa IN ACCORDANCE WITH AS 1379 AND AS 3600
- ROAD BASE MATERIAL IS TO BE DGB20 OR SIMILAR. COMPACT TO 100% STANDARD MAXIMUM DRY DENSITY IN ACCORDANCE WITH A.S. 1289.5.1.1
- KERB RAMP TO BE POURED AS ONE PIECE WITH GUTTER, NO CONSTRUCTION JOINTS WILL BE ALLOWED.
- PLAIN CONCRETE SURFACES TO BE FINISHED AS FOLLOWS:
RAMP- WOOD FLOAT FINISH
GUTTER- STEEL TROWEL FINISH
- ALL KERB RAMP ARE TO BE ALIGNED WITH THE DESIRED DIRECTION OF PEDESTRIAN TRAVEL. (SEE "DESIRABLE KERB RAMP LAYOUTS".)
- AT PEDESTRIAN CROSSINGS/REFUGES THE WIDTH OF THE RAMP SHOULD BE AS WIDE AS THE DEVICE OPENING.
- SHOULD DESIGN DIMENSIONS NOT BE ACHIEVABLE, CONTACT COUNCIL'S INSPECTOR.
- CONTACT COUNCIL'S INSPECTOR PRIOR TO COMMENCEMENT OF THE WORKS FOR
- PRE INSPECTION (TO DETERMINE SCALE OF WORKS)
- FORMWORK INSPECTION
- FINAL INSPECTION (PRIOR TO RELEASE OF BOND)
- ALL DISTURBED AREAS TO BE TOPSOILED AND TURFED FLUSH WITH ALL CONCRETE WORKS.
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SHOWN.

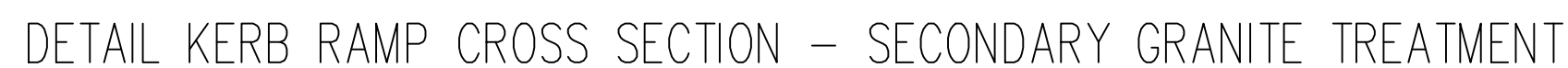
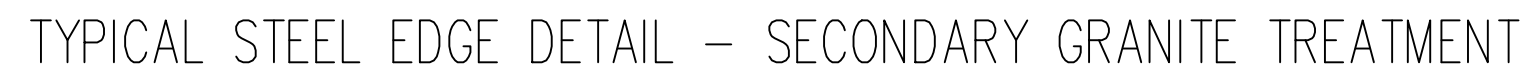


ASPHALT CONCRETE FOOTPATH



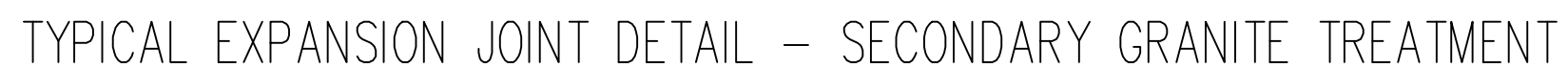
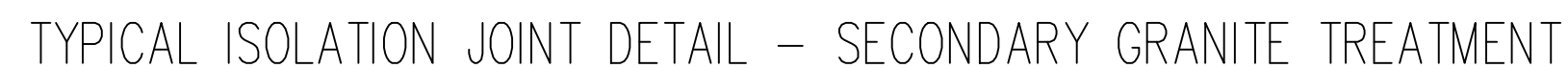
NOT FOR CONSTRUCTION

H	COUNCIL COMMENTS	18/08/2017	JAI	WSS	MBR	Architect	Client	Scale	Certification By:	Project	Drawing Title
G	COUNCIL COMMENTS	21/07/2017	CAM	MBR	MBR	IDRAFT	Designer Home Construction Pty Ltd	0 2 4 6m	Anthony Hasham	2-6 BOLD STREET & 80-82 COWPER STREET, GRANVILLE PROPOSED MIXED-USE DEVELOPMENT	CONSTRUCTION NOTES AND DETAILS
F	COUNCIL COMMENTS	20/04/2017	MBR	MBR	MBR	ARCHITECTS	Parramatta City Council	SCALE 1:100 @ A1		STORMWATER CONCEPT PLAN DEVELOPMENT APPLICATION	
E	MINOR ARCHITECTURAL AMENDMENTS	02/12/2016	MBR	MBR	MBR	Unit 43, 2 Slough Ave, Silverwater NSW					
D	MINOR ARCHITECTURAL AMENDMENTS	30/05/2016	MBR	MBR	MBR	PHONE : (02) 9648 8848					
Issue	Description	Date	Drawn	Design	Checked						
1	0	10m at full size	100m	200m							



300mm long R16 galvanised dowels capped and installed at 600mm centres perpendicular to expansion joint and parallel to pavement centreline and finished surface. Use of proprietary sleeve may be required. Refer to DS45 6e.

Note: this is typical design only, subject to final site specific engineering detail.



Detail 3e: Typical Isolation Joint Detail_Full Granite Treatment

Detail 5a: Typical Footpath Cross Section_Secondary Granite Treatment

The diagram illustrates a building layout with a central rectangular area labeled 'DEJ'. This central area is surrounded by a 'BUILDING LINE'. The layout includes various rooms and corridors labeled 'U' (Unisex), 'EJ' (Exercise Junction), 'CJ' (Circulation Junction), and 'DEJ'. Dimensions of 1800-2000 are indicated for the central area.

Note: this is typical design only, subject to final site specific engineering detail.

10mm wide x full depth foam expansion joint, Ableflex or form expansion joint to extend to 20mm below FFL to accommodate 20mm depth black silicone joint sealant. Refer to DS45_6c.

10mm wide x full depth subsurface foam expansion joint, Ableflex or similar approved. Finish foam expansion material 20mm below FFL to allow for 20mm depth black silicone joint sealant. Refer to DS45_6d.





300mm long R16 galvanised dowels capped and installed at 600mm centres perpendicular to expansion joint and parallel to pavement centreline and finished surface. Use of proprietary sleeve may be required. Refer to DS45_6e.

3mm wide x 25mm deep sawcut control joint.

Detail 6b: Typical Concrete Joint Layout on Vehicle Crossing - Secondary Granite Treatment

NOTE:
TYPICAL DETAILS ARE TO BE
READ IN CONJUNCTION WITH
DETAILED CIVIL AND LANDSCAPING
FOR PROJECT SPECIFIC DETAILS.

NOT FOR CONSTRUCTION

H COUNCIL COMMENTS		18/08/2017	JAI	WSS	MBR	Architect IDRAFT ARCHITECTS Unit 43, 2 Slough Ave, Silverwater NSW PHONE : (02) 9648 8848	Client Designer Home Construction Pty Ltd	Scale  SCALE 1:100 @ A1	Certification By:  Anthony Hasham	 AUSTRALIAN CONSULTING ENGINEERS. PTY LTD - A.C.N. 084 059 941 SHOP 2-4/1 CONCORD RD NORTH STRATHFIELD NSW 2137 PH: (02) 9763 1500 FX: (02) 9763 1515 EMAIL: info@aussiecons.com.au	Project 2-6 BOLD STREET & 80-82 COWPER STREET, GRANVILLE PROPOSED MIXED-USE DEVELOPMENT STORMWATER CONCEPT PLAN DEVELOPMENT APPLICATION	Drawing Title CONSTRUCTION NOTES AND DETAILS
G COUNCIL COMMENTS		21/07/2017	CAM	MBR	MBR							
F COUNCIL COMMENTS		20/04/2017	MBR	MBR	MBR							
E MINOR ARCHITECTURAL AMENDMENTS		02/12/2016	MBR	MBR	MBR							
D MINOR ARCHITECTURAL AMENDMENTS		30/05/2016	MBR	MBR	MBR							
Issue	Description	Date	Drawn	Design	Checked							
1	0											
Scale at full size												

1. The pump and system shall be designed to be compliant to the following: maximum

- The pump shall be constructed to be able to tolerate to allow three pump to learn or exact maximum load per pump life.
- A float shall be provided to ensure that the maximum required water level is maintained under all operating conditions of the below ground tank. In the event the float will function to prevent water from the pump from the water under tank. The float shall not be subject to any of the pump or its operation to the maximum to the float's limit is approximately 100mm above the water level in the tank. The pump will operate at the maximum water level in the tank.
- A second float shall be provided at a lower level, which is approximately the bottom of the below ground tank. This float shall ensure that the float pump that is not necessary and activates the alarm.
- A pressure system shall be provided with a floating, double light and a pump for water supply to the water level in the tank. The pump shall be provided with a float switch to the water level in the tank. The float switch shall be provided with a float switch to the water level in the tank.
- A pressure system shall be provided with a floating, double light and a pump for water supply to the water level in the tank. The pump shall be provided with a float switch to the water level in the tank.
- A pressure system shall be provided with a floating, double light and a pump for water supply to the water level in the tank. The pump shall be provided with a float switch to the water level in the tank.



COLOURS:
"Vintage" - RED
"Colourful" - GREEN
"Black" - BLACK



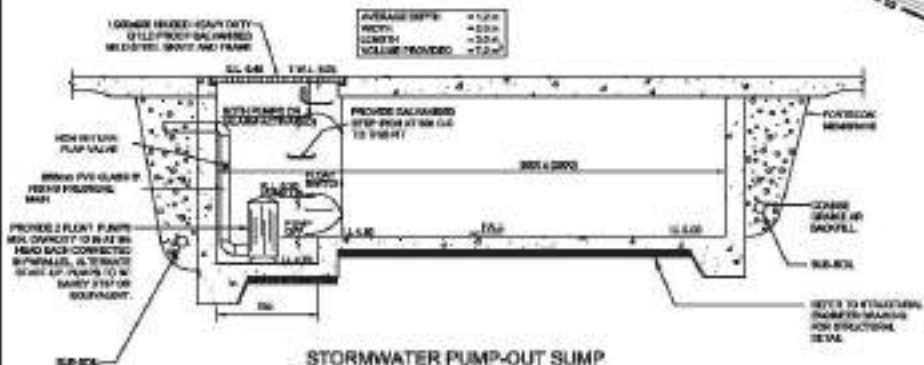
2. MINIMUM DIMENSIONS OF THE STEEL - 20mm x 40mm LAP JOINTS, SUCH AS DOORS, 20mm x 90mm SMALL JOINTS, SUCH AS CRACKS, 20mm x 100mm.

© 1998 THE JOURNAL OF THE AMERICAN COLLEGE OF SURGEONS
ALL RIGHTS RESERVED. PERMISSION TO REPRODUCE THIS
ARTICLE AND THE MATERIALS HEREIN IS GRANTED BY THE
PUBLISHERS FOR PERSONAL USE ONLY. NO OTHER
REPRODUCING, DISTRIBUTING, OR PROMOTIONAL
ACTS ARE PERMITTED WITHOUT THE EXPRESS
WRITTEN PERMISSION OF THE PUBLISHERS.

THE CODES
 TANGENT & UNDERLINED = WHITE
 ELLIPTICAL AREA = RED
 RECTANGULAR CONTAINING ELLIPSE = BLACK
 SQUARE AND OTHER LETTERS = SILVER



1- FOR ALL THE STRUCTURAL DETAILS REFER TO
STRUCTURAL ENGINEERING PLAN.



STORMWATER PUMP-OUT SUMP

SECTION	A
SCALE NTR	-

PROPOSED DRAINAGE
 SURFACE FLOW ARROWS
 SUBSIDENCE
 CLEARING EYE (EXHAUSTION EYE)
 PROPOSED STORAGE AREA
 PAVED SURFACE (PUMP)
 GRATED DRAIN

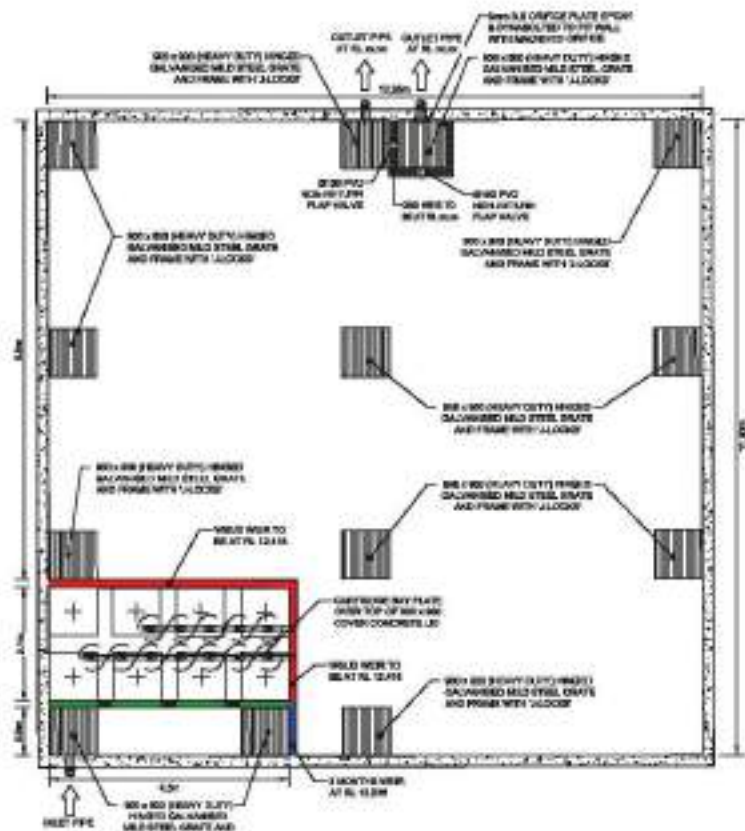
PUMP STORAGE VOLUME CALCULATION:
 $V_{\text{pump}} = 48.5 \text{ sec} / \text{hour} \times 0.648 \text{ sec} / \text{hour}$
 AREA DEDUCTED TO PUMP STORAGE: $A = 60 -$
 $D - CA$, WHERE $C = 1.8$ (REFER TO ADDENDUM
 5.4.8 (c))

PUMP HOLDING TANK VOLUME:

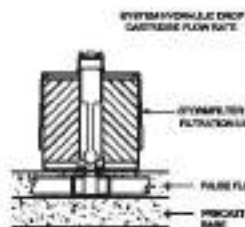
$$Q = 1.02048860 = 2.88 \text{ gpm}$$
 REQUIRED VOLUME = $2.88 \text{ gpm} \times 30 \text{ (seconds)} = 86.4$
 VOLUME AVAILABLE = $30 + 30 + 1.50 = 7.50$

NOT FOR CONSTRUCTION

<p>DESIGNER</p> <p>Home Construction Pty Ltd</p> <p>10/100 WILSON STREET, SYDNEY NSW 1570</p> <p>02 9550 1234</p> <p>www.homeconstruction.com.au</p>										<p>ARCHITECT</p> <p>IBRAHIM ARCHITECTS</p> <p>Unit 10, 22 South Ave, Silverwater NSW 1513</p> <p>02 9439 1234</p> <p>www.ibrahimarchitects.com.au</p>										<p>ENGINEER</p> <p>Umbrellacivil</p> <p>10/100 WILSON STREET, SYDNEY NSW 1570</p> <p>02 9550 1234</p> <p>www.umbrellacivil.com.au</p>										<p>CONSULTING ENGINEERS</p> <p>Australian Consulting Engineers</p> <p>10/100 WILSON STREET, SYDNEY NSW 1570</p> <p>02 9550 1234</p> <p>www.austconeng.com.au</p>										<p>2-6 GOLD STREET & 80-82 COWPER STREET, GRANVILLE</p> <p>PROPOSED MIXED-USE DEVELOPMENT</p> <p>STORMWATER CONCEPT PLAN</p> <p>DEVELOPMENT APPLICATION</p>										<p>STORMWATER CONCEPT PLAN</p> <p>BASEMENT SECOND LEVEL</p>									
--	--	--	--	--	--	--	--	--	--	---	--	--	--	--	--	--	--	--	--	---	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	---	--	--	--	--	--	--	--	--	--	---	--	--	--	--	--	--	--	--	--



UNDERGROUND COMBINED OSD & WSUD TANK DETAIL
PLAN VIEW



STORMFILTER DESIGN TABLE

- **FORMAL TEST TREATMENT CAPACITY** LARGELY BASED ON NUMBER OF FILTERS CURRENTLY INSTALLED (15) AND BY MONITORING OF INTERNAL FLOW CONTROLS. CAPACITY FACTOR IS BASED AT 80%.
- **3-D STRAINING CONFIGURATION** IS SIMILAR. ACTUAL CONFIGURATION OF THE PROPOSED STRUCTURE PER CIVIL ENGINEER WILL BE BASED ON BEST AVAILABLE DATA.
- **ALL FILTERS** PROVIDED AND INTERNAL ASSUMED BY STRAINING TRENCH MATERIALS WOULD BE REMOVED BY THE

CARTRIDGE HEIGHT	800	400	200
HYDRAULIC HEAD (4-INCH DIA.)	500	700	900
THROAT OF MICRO-SURFACE CARTRIDGE	1.4	0.7	0.4
CARTRIDGE FLOW RATE GPM	7.00	3.50	1.80

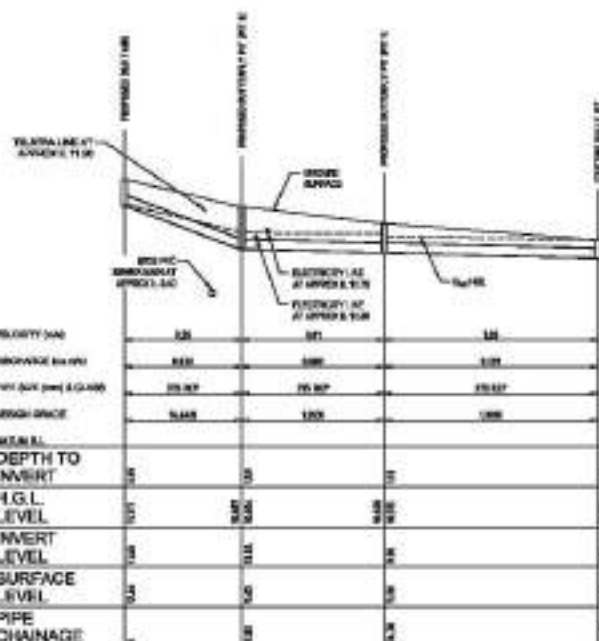
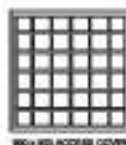
SITE SPECIFIC DATA REQUIREMENTS

[illegible]

STORMFILTER TABLE

GENERAL NOTES

- [illegible]



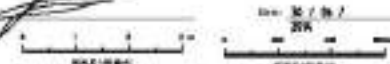
STORMWATER LONGITUDINAL SECTION

On-Site Detection Calculator/oa Sheet for Upper Pomaratta River Catchment
HED Secondary Outlet[illegible]

Relative Fuel Consumption (per Hour)

[illegible][illegible]

Keywords:



NOT FOR CONSTRUCTION

[illegible]

